

SMARTCODE

HARRISON COUNTY, MS



T1



T2



T3



T4



T5



T6

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1.1 INTENT

The purpose of this Code is to enable, encourage and qualify the implementation of the following policies:

1.1.1 THE REGION

- a. That the region should retain its natural infrastructure and visual character derived from topography, forestland, farmlands, riparian corridors, and coastlines.
- b. That growth strategies should encourage Infill and redevelopment in parity with new communities.
- c. That development contiguous to urban areas should be structured in the Neighborhood pattern and be integrated with the existing urban pattern.
- d. That development non-contiguous to urban areas should be organized in the pattern of clusters, traditional Neighborhoods or Villages, and Regional Centers.
- e. That affordable housing should be distributed throughout the region to match job opportunities and to avoid concentrations of poverty.
- f. That transportation corridors should be planned and reserved in coordination with land use.
- g. That green corridors should be used to define and connect the urbanized areas.
- h. That the region should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.

1.1.2 THE COMMUNITY

- a. That Neighborhoods and Regional Centers should be compact, pedestrian-oriented, and mixed-use.
- b. That Neighborhoods and Regional Centers should be the preferred pattern of development and that districts specializing in single-use should be the exception.
- c. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- d. That interconnected networks of Thoroughfares should be designed to disperse and reduce the length of automobile trips.
- e. That within Neighborhoods, a range of housing Types and price levels should be provided to accommodate diverse ages and incomes.
- f. That appropriate building Densities and land uses should be provided within walking distance of transit stops.
- g. That Civic, Institutional, and Commercial activity should be embedded in Downtowns, not isolated in remote single-use complexes.
- h. That schools should be sized and located to enable children to walk or bicycle to them.
- i. That a range of open space including parks, squares, and playgrounds should be distributed within Neighborhoods and urban center zones.

1.1.3 THE BLOCK AND THE BUILDING

- a. That buildings and landscaping should contribute to the physical definition of Thoroughfares as Civic places.
- b. That development should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public space.
- c. That the design of streets and buildings should reinforce safe environments, but

- not at the expense of accessibility.
 - d. That architecture and landscape design should grow from local climate, topography, history, and building practice.
 - e. That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - f. That Civic Buildings and public gathering places should be provided locations that reinforce community identity and support self-government.
 - g. That Civic Buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
 - h. That the preservation and renewal of historic buildings should be facilitated to affirm the continuity and evolution of society.
 - i. That the harmonious and orderly evolution of urban areas should be secured through graphic codes that serve as guides for change.
- 1.1.4 THE TRANSECT
- a. That Communities should provide meaningful choices in living arrangements as manifested by distinct physical environments.
 - b. That the Transect Zone descriptions on Table 1 shall constitute the Intent of this Code with regard to the general character of each of these environments.
- 1.2 APPLICABILITY
- 1.2.1 Provisions of this Code are activated by “shall” when required; “should” when recommended; and “may” when optional.
- 1.2.2 This Code is an option for development of Communities and Neighborhoods in Harrison County, Mississippi, and is intended to exist parallel to the existing Harrison County Unified Development Code. It may, through the proper planning process, be made mandatory in certain districts of the County. The Harrison County Unified Development Code and any Existing Local Harrison County Codes shall continue to be applicable to issues not covered by this Code except when in conflict with the Intent Section 1.1, in which case the conflict shall be resolved in favor of this Code for projects applied for and approved using this code.
- a. This Code shall be available throughout the County for development and adoption of a New Community Plan or an Existing-Community Plan in accordance with Articles 1, 3, and 4 of this Code.
 - b. Within a Community Planning Area created by an adopted New Community Plan, the provisions of this Code and of the Community Plan shall both be applicable and mandatory.
 - c. Within a Community Planning Area covered by an Existing-Community Plan, in any district where this Code is optional and property owners chose not to use it, the existing local codes shall be applicable in all respects.
 - d. Within a Community Planning Area subject to an Existing-Community Plan, in any district where this Code either (a) is optional and property owners chose to use this Code, or (b) is made mandatory by the Community Plan, the provisions of Articles 1, 5, 6, and 7 of this Code and the requirements of the Community Plan shall be mandatory in all respects.
 - e. Any Community Planning Area governed by an Official Community Plan in which this Code is mandatory, shall be designated on the Zoning Map of Harrison County, Mississippi, as a SmartCode Special Use District.
- 1.2.3 The Definitions of Terms (Article 7) contains regulatory language that is found in

this Code. Capitalized Terms in this Code may refer to definitions in Articles 1-5 or to Article 7 Definitions. Those terms not defined in Article 7 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the existing local codes, those of this Code shall take precedence for projects approved using this code.

1.3 PROCESS

- 1.3.1 Sectors (defined geographically in Article 2 and published in the Harrison County Comprehensive Plan) contain Communities (defined by extent and intensity in Articles 3 and 4) which are comprised of Transect Zones (defined by the elements appropriate to them in Article 5 and in Article 6 Standards & Tables).
- 1.3.2 The geographic determination of Sectors and the standards for each Transect Zone shall be determined through a process of public consultation with approval by the Board of Supervisors.
- 1.3.3 The Harrison County, Mississippi Zoning Office (the "Zoning Office") shall include a Consolidated Review Committee (CRC) comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project. The CRC shall provide the first interface between the developer and the agencies.
 - a. The CRC shall include representatives of the Zoning Office, Building Code Services, the Engineering Department, the Beautification Commission, the Fire Department, and from any other regulatory authority within the County that has jurisdiction over the permitting of a project.
- 1.3.4 An owner or developer may appeal a decision of the Harrison County, Mississippi Planning Commission (the "Planning Commission") to the Board of Supervisors.
- 1.3.5 Should amendments need to be made, refer to Section 500 of the Harrison County Unified Development Code.
- 1.3.6 Should a violation of an approved plan occur during construction, the Zoning Administrator has the right to require the owner or developer to stop, remove, and/or mitigate the violation, or to require the owner or developer to secure a Variance to cover the violation.

1.4 VARIANCES

- 1.4.1 There shall be one type of deviation from the requirements of this Code: Variance. Whether a deviation requires Variance shall be determined by the Zoning Administrator.
- 1.4.2 A Variance is a ruling that would permit a practice that is not consistent with either a provision or the Intent of this Code (Section 1.1). Variances shall be granted only in accordance with the procedure set out in the Harrison County Unified Development Code, Section 905 Variances.
- 1.4.3 The request for a Variance shall not subject the entire application to public hearing, but only that portion necessary to rule on the specific issue requiring the relief.
- 1.4.4 The following standards and requirements shall not be available for Variances:
 - a. The allocation ratios of each Transect Zone.
 - b. The maximum dimensions of traffic lanes.
 - c. The required provision of Alleys and Rear Lanes.
 - d. The permission to build ancillary apartments.

1.5 INCENTIVES

- 1.5.1 To encourage the use of this Code, the following incentives are hereby granted to the extent not prohibited by or in conflict with applicable law:
- a. Applications for building plans submitted under this Code shall be processed with priority over others under the existing local codes with prior filing dates.

2.1 INSTRUCTIONS

- 2.1.1 Sector Plans shall integrate the largest practical geographic area, overlapping property lines as necessary.
- 2.1.2 Sector Plans shall be prepared by the Zoning Office and/or consultants under its supervision. The process shall involve citizen participation and the approval of the Board of Supervisors.
- 2.1.3 The areas to be designated Preserved Open Sector (O-1) shall be mapped using the criteria listed in Section 2.2. All other Sectors may qualify for development but conditional to the requirements of Sections 2.1.4 through 2.1.7.
- 2.1.4 The areas to be designated Reserved Open Sector (O-2) shall be mapped using the criteria listed in Section 2.3. The outline of this Sector is to be adjusted by the permitting of Community Plans conditional to this Code based on the environmental conditions of each site.
- 2.1.5 Infill Growth Sectors (G-4) shall be mapped as described in Section 2.7. These areas may be redeveloped according to Article 4 of this Code.
- 2.1.6 Those areas that are justified for specialized uses but cannot conform to one of the six Transect Zones shall be allocated to Special Districts (SD).
- 2.1.7 All remaining areas are available for development as New Community Plans conditional to Article 3 of this Code. These areas shall be assigned to one of the three Growth Sectors G-1, G-2, and G-3 by factoring the existing zoning, the regional transportation plans, parcel size and other criteria determined through a process of citizen participation. Within these Sectors, the corresponding Community Types of CLD (Cluster Land Development), TND (Traditional Neighborhood Development), and RCD (Regional Center Development), shall be permitted By Right, to the extent set forth in Table 2 with the Existing Zoning Ordinance Districts remaining as an option.
- 2.1.8 The Harrison County Sector Map can be found in the Harrison County Comprehensive Plan. The sector map can be modified as an amendment to the Harrison County Comprehensive Plan based on future changes such as an implementation of water and sewer services in areas of the County where those services are not currently available.

2.2 (O-1) PRESERVED OPEN SECTOR

- 2.2.1 The Preserved Open Sector shall consist of open space that is protected from development in perpetuity. The Preserved Open Sector includes areas under environmental protection by law or standard, as well as land acquired for conservation through purchase or land protection from development by easement.
- 2.2.2 The Preserved Open Sector shall consist of the aggregate of the following categories:
 - a. Surface Waterbodies
 - b. Protected Wetlands
 - c. Protected Habitat
 - d. Riparian Corridors
 - e. Purchased Open Space
 - f. Conservation Easements
 - g. Residual to Cluster Open Space (CLD)
- 2.2.3 Development and construction within the Preserved Open Sector and the specifications required to do so shall be determined on an individual project basis in public hearing of the Board of Supervisors.

2.3 (O-2) RESERVED OPEN SECTOR

- 2.3.1 The Reserved Open Sector shall consist of undeveloped parcels outside of incorporated cities and wastewater service areas that are either vacant or in agricultural/forestry use. It includes open space that should be but is not yet protected from development.
- 2.3.2 The Reserved Open Sector shall consist of the aggregate of the following categories:
- a. Flood Plain
 - b. Scenic Highway Corridors
 - c. Open Space to be Acquired
 - d. Stream Corridors
 - e. Buffers
 - f. Forestland
 - g. Farmland
 - h. Viewsheds
- 2.3.3 Within the Reserved Open Sector, the sector boundary is subject to adjustment as New Community Plans are permitted.

2.4 (G-1) RESTRICTED GROWTH SECTOR

- 2.4.1 The Restricted Growth Sector shall be assigned to areas that consist of rural development, such as in typical in Harrison County. This sector includes hamlets and clustered residences with parcel sizes ranging from small lots within the hamlet to large acreage lots surrounding the hamlet. Hamlets may also have a small amount of retail and some community facilities located at main intersections. These areas may be outside the sewer service areas.
- 2.4.2 Within the Restricted Growth Sector, Cluster Land Developments (CLD) shall be permitted by right. CLDs shall consist of no more than one Standard Pedestrian Shed with that portion of its site assigned to the T1 Natural or T2 Rural Zones as specified in Section 3.3.1.

2.5 (G-2) CONTROLLED GROWTH SECTOR

- 2.5.1 The Controlled Growth Sector shall be assigned to those locations where development is encouraged, areas intended to be served by water and sewer, as it can support mixed-use by virtue of proximity to a Thoroughfare.
- 2.5.2 Within the Controlled Growth Sector, Traditional Neighborhood Developments (TND) shall be permitted by right, as well as CLDs. TNDs shall consist of one or several Standard Pedestrian Sheds as specified in Section 3.3.2.

2.6 (G-3) INTENDED GROWTH SECTOR

- 2.6.1 The Intended Growth Sector shall be assigned to all those locations along high-capacity thoroughfares that can support substantial commercial development, areas intended to be served by water and sewer.
- 2.6.2 Within the Intended Growth Sector, communities in the pattern of Regional Center Developments (RCD) shall be permitted by right, as well as TNDs. Regional Centers shall consist of one Long Pedestrian Shed as specified in Section 3.3.3. Additional TNDs may adjoin a Regional Center without buffer requirements.

2.7 (G-4) INFILL GROWTH SECTOR

2.7.1 The Infill Growth Sector shall be assigned to areas already developed, having the potential to be modified, confirmed or completed in the pattern of TNDs or RCDs. Such areas may include conventional suburban developments, greyfield and brownfield sites, and historic urban areas.

2.8 (SD) SPECIAL DISTRICTS

2.8.1 Special District designations shall be assigned to areas that, by their intrinsic Function, cannot conform to one of the Community Types specified in this Article.

2.8.2 The provisions of the Existing Zoning Ordinance shall remain applicable to Special Districts. Alternatively, the conditions of development shall be determined in public hearing of the Board of Supervisors.

2.8.3 The standards determined for Special Districts shall be recorded as part of the SmartCode application.

3.1 INSTRUCTIONS

- 3.1.1 Article 3 shall be available as an optional Special Use District under Section 500 of the Harrison County Unified Development Code by right pursuant to the requirements set forth in Sections 3.2 and 3.3. The Existing Unified Development Code Districts also shall remain available by right. This Article shall be applied in its entirety or not at all.
- 3.1.2 Incentives for the use of this special district are listed in Section 1.5.
- 3.1.3 New Community Plans may be prepared by an owner, a developer, or by the Zoning Office.
- 3.1.4 New Communities of the Types corresponding to the appropriate Sectors and planned according to the provisions of this Code shall be approved through special use districts as required by Section 500 of the Unified Development Code.
- 3.1.5 Growth Sectors G-1, G-2 and G-3 (described in Article 2) designate the potential geographic locations of three Types of New Communities: Cluster Land Development (CLD), Traditional Neighborhood Development (TND) and Regional Centers (RCD) or Transit-Oriented Development (TOD). These communities are prescribed in Section 3.3.
- 3.1.6 Each New Community Plan shall respond to the context of the existing development pattern and natural conditions of the site, adjacent developments, connecting Thoroughfares, natural features and man-made traces, as determined by the CRC.
- 3.1.7 Each New Community Plan, according to its Type, and responding to existing conditions, shall be structured as one or several Pedestrian Sheds as specified in Section 3.3.
- 3.1.8 Each New Community Plan shall allocate the Transect Zones and Densities as specified in Sections 3.2 and Tables 2 and 12.
- 3.1.9 Remnants of the site outside the Pedestrian Sheds may be designated as Natural Zones (T1), Rural Zones (T2), Sub-Urban Zones (T3) or as Civic Space (CS). (See Section 3.3)
- 3.1.10 Each New Community Plan shall lay out the Thoroughfare network according to the provisions of Section 3.6 and Table 3C.
- 3.1.11 Each New Community Plan shall allocate the Civic Functions according to Section 3.7.
- 3.1.12 Each New Community Plan shall be detailed with the Special Requirements described in Section 3.8.
- 3.1.13 Each New Community Plan shall incorporate the Incentives available according to Section 1.6.

3.2 TRANSECT ZONES

- 3.2.1 Transect Zones shall be constituted of the elements described in Table 1 and the standards summarized in Table 12.

3.3 COMMUNITY TYPES**3.3.1 CLUSTERED LAND DEVELOPMENT (CLD)**

- a. Clustered Land Development (CLD) shall be permitted with a Special use district designation only in the G-1 Restricted Growth Sector and O-2 Reserved Open Sector.
- b. A Clustered Land Development (CLD) shall consist of no more than one standard

Pedestrian Shed (1/4 mile radius) including T2, T3 and T4 Zones as specified in Table 12. However, a minimum of 50% of the parcel shall be permanently allocated to a Rural Zone (T2).

3.3.2 TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)

- a. TNDs shall be permitted for New Community Plans of at least 40 contiguous acres within the G-2 Controlled Growth Sector and the G-3 Intended Growth Sector, and at least 20 contiguous acres within the G-4 Infill Growth Sector. The simultaneous planning of larger and adjacent parcels is encouraged.
- b. A TND may be comprised of a partial or entire Standard Pedestrian Shed (1/4 mile radius) or more than one Standard Pedestrian Shed, each with the individual Transect Zone requirements of a TND as specified in Tables 2 and 12.

3.3.3 REGIONAL CENTER DEVELOPMENT (RCD)

- a. Regional Center Developments (RCD) shall be permitted within G-3 Intended Growth Sector.
- b. The minimum developable area of a site to be planned as an RCD shall be 160 acres. The simultaneous planning of larger and adjacent parcels is encouraged.
- c. An RCD shall be limited to one Long Pedestrian Shed (1/2 mile radius) including T4, T5, and T6 Zones as specified in Table 12, and may be adjoined without buffers by one or several partial or entire Standard Pedestrian Sheds, each with the individual Transect Zone requirements of an RCD as specified in Tables 2 and 12.

3.3.4 TRANSIT-ORIENTED DEVELOPMENT (TOD)

- a. A TOD is subject to Density shown in Table 12 and calculated in accordance with Section 3.4.

3.4 DENSITY CALCULATIONS

3.4.1 The Developable Areas of the site shall be considered the Net Site Area as a combination of the transects, according to the density calculations specified in Table 12.

3.4.2 The Overall Density shall be calculated in terms of housing units as specified for the area of each Transect Zone by Table 12. For purposes of Density calculation, the Transect Zone Areas include the Thoroughfares as well as land allocated to Civic Functions.

3.4.3 The percent of the housing units shown on Table 12 shall be exchanged for other Functions at the following rates:

- a. For Lodging: 1 bedroom for each unit of Overall Density.
- b. For Office or Retail: 1000 square feet for each unit of Overall Density.

3.4.4 The housing and other Functions for each Transect Zone shall be further adjusted at the building scale according to Article 5.

3.5 ENVIRONMENTAL REQUIREMENTS

3.5.1 GENERAL

- a. Transect Zones manifest a range of natural and urban conditions. When considering development, it is always necessary to protect the needs of the natural environment. In case of conflict, to the extent not inconsistent with applicable state or federal law, the natural environment shall have priority in the more rural

- zones (T1-T3) and the built environment shall have priority in the more urban zones (T4-T6)
- 3.5.2 SPECIFIC TO NATURAL AND RURAL ZONES (T1-T2)
- a. Within T1 and T2 Zones, the encroachment and modification of natural conditions listed in Sections 2.3.2 and 2.4.2 shall be limited according to applicable local, state and federal law.
 - b. The Public Frontage (Tables 4A and 12) shall include trees of various species, naturalistically clustered, as well as understory planting. The introduced landscape shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance (Appendix A).
 - c. Impermeable surface shall be minimized and confined to the ratio of lot coverage by building specified in Table 12.
 - d. To the extent not inconsistent with applicable state or federal law, storm water management on Thoroughfares shall be primarily through retention and percolation, channeled by curbside swales.
- 3.5.3 SPECIFIC TO SUB-URBAN ZONES (T3)
- a. Within T3 Zones, the continuity of the urbanized areas shall be subject to the precedence of the natural environmental conditions listed in Sections 2.3.2 and 2.4.2. The alteration of such conditions shall be limited according to local, state and federal law.
 - b. The Public Frontage (Tables 4A and 12) shall include trees of various species, naturalistically clustered, as well as low maintenance understory. The introduced landscape shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance (Table 4B and Appendix A).
 - c. Impermeable surface shall be minimized and confined to the ratio of lot coverage by building specified in Table 12.
 - d. To the extent not inconsistent with applicable state or federal law, storm water management on Thoroughfares shall be primarily through retention and percolation, channeled by curbside swales.
- 3.5.4 SPECIFIC TO GENERAL URBAN ZONES (T4)
- a. The alteration of natural environmental conditions, where necessary and to the extent not inconsistent with applicable state or federal law, may be mitigated off-site.
 - b. The Public Frontage (Tables 4A and 12) shall include trees planted in a regularly spaced Allee pattern of single or alternated species with shade canopies of a height that, at maturity, clears three stories but remains predominantly clear of building Frontages and overhead utility lines. The introduced landscape shall consist primarily of native species tolerant of soil compaction (Tables 4B and Appendix A).
 - c. Impermeable surface shall be confined to the ratio of lot coverage by building specified in Table 12.
 - d. Storm water management must be consistent with the Harrison County Unified Development Code.
- 3.5.5 SPECIFIC TO URBAN CENTER ZONES (T5)
- a. To the extent not inconsistent with applicable state or federal law, within T5 Zones, the continuity of the urbanized areas shall take precedence over the natural environmental conditions listed in Sections 2.3.2 and 2.4.2. The alteration of such conditions, where necessary and to the extent not inconsistent with

applicable state or federal law, may be mitigated off-site, and the determination for modification and mitigation shall be made by Variance.

- b. The Public Frontage (Tables 4A and 12) shall include trees planted in Allees of a single species with shade canopies of a height that, at maturity, clear the first story of the building but remains predominantly clear of building Frontages and overhead utility lines. . The introduced landscape shall consist primarily of native species tolerant of soil compaction (Tables 4B and Appendix A).
- c. Impermeable surface shall be confined to the ratio of lot coverage by building specified in Table 12.
- d. Storm water management must be consistent with the Harrison County Unified Development Code.

3.5.6 SPECIFIC TO URBAN CORE ZONES (T6)

- a. To the extent not inconsistent with applicable state or federal law, within T6 Zones, the continuity of the urbanized areas shall take precedence over the natural environmental conditions listed in Sections 2.3.2 and 2.4.2. The alteration of such conditions, where necessary and to the extent not inconsistent with applicable state or federal law, shall not require off-site mitigation, and the determination for alteration of such conditions shall be made by Variance.
- b. The Public Frontage (Tables 4A and 12)) shall include trees planted in Allees of a single species with shade canopies of a height that, at maturity, clears three stories but remains predominantly clear of building Frontages and overhead utility lines. The introduced landscape shall consist primarily of durable species tolerant of soil compaction (Tables 4B and Appendix A).
- c. Impermeable surface shall be confined to the ratio of lot coverage by building specified in Table 12).
- d. Storm water management must be consistent with the Harrison County Unified Development Code.

3.6 STREETScape REQUIREMENTS

3.6.1 GENERAL

- a. The Thoroughfares are intended for use by vehicular and pedestrian traffic and to provide access to lots and open spaces.
- b. The Thoroughfares consist of vehicular lanes and Public Frontages (Tables 4 and 12). The lanes provide the traffic and parking capacity. They consist of vehicular lanes in a variety of widths for parked and for moving vehicles. The Frontages contribute to the character of the Transect Zone. They include the Types of sidewalk, curbing, planter, and street tree.
- c. Thoroughfares should be designed in context with the urban form and desired design speed of the Transect Zones through which they pass. Thoroughfares that pass from one Transect Zone to another shall adjust their Public Frontages accordingly or, alternatively, the Transect Zone may follow the alignment of the Thoroughfare to the depth of one lot, retaining a single Public Frontage throughout its trajectory.
- d. Within the more rural Zones (T1 through T3) pedestrian comfort shall be a secondary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement shall be generally decided in favor of vehicular mobility, provided that pedestrian safety is maintained.
- e. Within the more urban Transect Zones (T4 through T6) pedestrian comfort shall

be a primary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement shall be decided in favor of the pedestrian.

3.6.2 THOROUGHFARES

- a. The standards for vehicular lanes shall be as shown in Table 3.
- b. The Thoroughfare network shall be designed to define blocks not exceeding the size prescribed in Table 12. The size shall be measured as the sum of lot Frontage Lines.
- c. All Thoroughfares shall terminate at other Thoroughfares, forming a network. Internal Thoroughfares shall connect wherever possible to those on adjacent sites. Cul-de-sacs shall be permitted only by Variance, when natural site conditions limit the ability for connectivity.
- d. Lots shall enfront a vehicular Thoroughfare, except that 20% of the lots within each Transect Zone may enfront a pedestrian passage.
- e. Thoroughfares along a designated Secondary Grid (Section 3.8.1a) may be exempted from the specified Frontage requirements.
- f. A bicycle network consisting of Trails, Routes and Lanes should be provided throughout as defined in Article 7 Definitions of Terms and allocated in Table 12. The community bicycle network should be connected to existing or proposed Sector networks wherever possible.

3.6.3 PUBLIC FRONTAGES

- a. Public Frontages shall be designed as shown in Table 4 and allocated within Transect Zones as specified in Table 12.
- b. Within the Public Frontages, the prescribed Type of street trees and spacing shall be as shown in Table 4 and Appendix A.

3.6.4 SPECIFIC TO SPECIAL DISTRICTS

- a. The standards for Thoroughfares and Public Frontages within Special Districts shall be proposed by the developer and approved by Planning Commission.

3.7 CIVIC FUNCTIONS

3.7.1 GENERAL

- a. Places for public use shall be required for each community and designated on the Community Plans as Civic Space (CS) and Civic Building (CB).
- b. Civic Spaces are public sites permanently dedicated to open space.
- c. Civic Buildings are sites dedicated for buildings generally operated by not-for-profit organizations to culture, education, government, transit and municipal parking, or for a use approved in a Community Plan.

3.7.2 CIVIC SPACE (CS) SPECIFIC TO T3-T6 ZONES

- a. Each Pedestrian Shed shall assign at least 5% of its urbanized area to Civic Space.
- b. Civic Spaces shall be designed as generally described in Table 11 and approved by the CRC and allocated to zones as described in Table 12.
- c. Each Pedestrian Shed shall contain at least one Main Civic Space. The Main Civic Space shall be within 800 feet of the geographic center of each Pedestrian Shed, unless topographic conditions, pre-existing Thoroughfare alignments or other circumstances warrant it.
- d. Within $\frac{1}{4}$ mile of every lot in Residential use, a civic space shall be provided, including a playground as needed.
- e. Each Civic Space shall have a minimum of 50% of its perimeter enfronting a

Thoroughfare.

- f. In Special Districts, Civic Spaces may be proposed by the developer and approved by Board of Supervisors.
- g. Parks may be permitted in Transect Zones 2 through 6, and Special Districts (Table 10).

3.7.3 CIVIC BUILDINGS (CB) SPECIFIC TO T3-T6 ZONES

- a. The developer's plan shall include a location for a Meeting Hall or a Third Place in proximity to the Main Civic Space of each Pedestrian Shed. Its corresponding Public Frontage shall be equipped with a shelter and bench for a transit stop where transit service is available.
- b. If requested by the School District, one Civic Building lot shall be reserved for an elementary school. Its area shall be 1 acre for each increment of 1,000 dwelling units provided by the Community Plan. Schools are allowed in different Transect Zones depending on the type of school (see Table 10). Developments with 300 or more dwellings should consult with the school district. Any playing fields should be outside the Pedestrian Shed.
- c. One Civic Building lot suitable for a child care building shall be included in the scale plan within each Pedestrian Shed. The Developer or a Homeowners' Association or other Community Council may organize, fund and construct an appropriate building as the need arises.
- d. Civic Building sites shall not occupy more than 20% of the area of each Pedestrian Shed.
- e. Civic Building sites should be located within or adjacent to Civic Spaces, or at the axial termination of significant Thoroughfares.
- f. Civic Buildings shall not be subject to the standards of Article 5. The particulars of their design shall be determined by Variance.
- g. Civic parking lots may remain unpaved if graded, compacted and landscaped.
- h. Civic Buildings may be permitted within Special Districts by Variance.

3.7.4 CIVIC FUNCTIONS SPECIFIC TO T1 & T2 ZONES

- a. Civic Buildings and Civic Spaces related to education, recreation and culture may be erected within T1 Natural and T2 Rural Zones by Variance.
- b. Those portions of the T1 Natural and T2 Rural Zones that occur within a development parcel are an integral part of the Civic Function allocation and should conform to one or more of the Types specified in Table 11.

3.8 SPECIAL REQUIREMENTS

- 3.8.1 A New Community Plan may designate a special requirement for a differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. The Frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.

4.1 INSTRUCTIONS

- 4.1.1 Within the G-4 Infill Growth Sector of the Sector Plan (Article 2.8), the Zoning Office shall prepare, or have prepared on its behalf, New Community Plans to guide further development.
- 4.1.2 New Community Plans shall be prepared in a process of public consultation and, subject to review and recommendation of the Planning Commission and final approval by the Board of Supervisors. The requirements of such plans are mandatory.
- 4.1.3 For any site greater than 5 contiguous acres, the landowner or developer may initiate the preparation of a New Community Plan, subject to the provision of Article 3 (other than the minimum requirements), subject to review and recommendation of the Planning Commission and final approval from the Board of Supervisors.
- 4.1.4 For Sites under the minimum required acreage, developers and landowners shall use only Articles 1, 5, 6, and 7.
 - a. For Developers applying under Article 5, thereof submitting Building Scale Plans requiring no variances, these shall be approved administratively by the CRC.

4.2 SPECIAL REQUIREMENTS

- 4.2.1 An Infill Community Plan may designate any of the following Special Requirements:
 - a. A differentiation of the Thoroughfares as Primary Grid (P-Grid) and Secondary Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30% of the total length of Frontages within a Pedestrian Shed.
 - b. Designations for Recommended Retail Frontage requiring or advising that a building provide a Shopfront at Sidewalk level along the entire length of its Private Frontage. The Shopfront shall be no less than 70% glazed in clear glass and shaded by an awning overlapping the Sidewalk as generally illustrated in Table 5 and specified in Article 5. The first floor shall be confined to Retail use through the depth of the first Layer (Table 14).
 - c. Designations Recommended Gallery Frontage, requiring or advising that a building provide a permanent cover over the Sidewalk, either cantilevered or supported by columns. The Gallery Frontage designation may be combined with a Retail Frontage designation (Table 5).
 - d. Designations for Recommended Arcade Frontage, requiring or advising that a building overlap the Sidewalk such that the first floor Facade is a colonnade. The Arcade Frontage designation may be combined with a Retail Frontage designation.
 - e. A designation for Coordinated Frontage, requiring that the Public Frontage (Table 4b) and Private Frontage (Table 5) be coordinated as a single, coherent landscape and paving design.
 - f. Designations for Recommended Terminated Vista locations, requiring or advising that the building be provided with architectural articulation of a type and character that responds visually to the location, as approved by the CRC.
 - g. A designation for Cross Block Passages, requiring that a minimum 8-foot-wide pedestrian access be reserved between buildings.
 - h. A designation of a Shaded Pedestrian Way, requiring that Public and Private Frontages are coherently planned and planted with a combination of fast-growing and of more long-lived shaded-trees, so arranged that in combination with awnings, galleries and arbors as to provide nearly continuous shade cover for pedestrian along frontages, sidewalks and pedestrian path so designated.

4.3 PRE-EXISTING CONDITIONS

- 4.3.1 Existing buildings and appurtenances that do not conform to the provisions of this Code may continue in the same use and form until a Substantial Modification occurs or is requested, at which time the Planning Commission shall determine the provisions of this Section that shall apply.
- 4.3.2 The modification of existing buildings is permitted By Right if such changes result in greater conformance with the specifications of this Code.
- 4.3.3 Where buildings exist on adjacent Lots, the Planning Commission may require that a proposed building match one or the other of the adjacent Setbacks and heights rather than the provisions of this Code.
- 4.3.4 The restoration or rehabilitation of an existing building shall not require the provision of parking in addition to that which is existing.

5.1 INSTRUCTIONS

- 5.1.1 The requirements described in this Article shall control the Disposition, Configuration and Function of buildings, as well as their architectural, landscape, parking, signage, ambient and visitability standards.
- 5.1.2 Building and Site Plans submitted under this Article shall show the following, in compliance with the standards described in this Article:
- a. For site approval process:
 - Building Disposition
 - Building Configuration
 - Building Function
 - Parking Standards
 - b. For building application process:
 - Landscape Standards
 - Signage Standards
 - Ambient Standards
 - Visitability Standards
 - Special Requirements

5.2 SPECIFIC TO NATURAL AND RURAL TRANSECT ZONES (T1 & T2)

The following shall be applicable to Zones T1 and T2:

- 5.2.1 Buildings in the T1 and T2 Zones are permitted by Variance. Permission to build in T1 and T2 and the standards for Disposition, Configuration, Function, parking, environmental, ambient and visitability shall be determined concurrently as Variances, in public hearing of the Planning Commission.
- 5.2.2 Environmental Standards:
The modification of the natural conditions shall be according to Local, State and Federal guidelines.

5.3 SPECIFIC TO SUB-URBAN TRANSECT ZONE (T3)

- 5.3.1 Building Disposition (T3):
- a. Newly platted lots shall be dimensioned according to Table 13B.
 - b. Buildings shall be disposed in relation to the boundaries of their lots according to Table 13B.
 - c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 13B.
 - d. Lot coverage by building shall not exceed that shown in Table 13B.
 - e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
 - f. Setbacks for Principal Buildings shall be as shown in Table 13. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Variance.
 - g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Table 13B.
 - h. Building Types shall be as shown in Table 8.
- 5.3.2 Building Configuration (T3):
- a. Private Frontage types shall conform to and be allocated in accordance with

- Tables 5 and 13B.
- b. Building Heights shall conform to Table 6 and be as shown in Table 13B.
 - c. All specified Building Heights may be increased by the applicable County and Federal FEMA standards.
- 5.3.3 Building Function & Density (T3):
- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 8, 10, and 13A. Functions that do not conform to the requirements of Tables 8 or 10 shall require approval by Variance.
 - b. The Actual Parking available to meet the Required Parking shown on Table 9 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.3.3c.
 - c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 9). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
- 5.3.4 Parking Standards (T3):
- a. Vehicular parking shall be required and adjusted for mixed-use as shown in Tables 9 and 10.
 - b. Maximum parking ratios may be established by the CRC.
 - c. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
 - d. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.3.5b.
 - e. Open parking areas shall be located at the Second and Third Lot Layers, as shown in Table 14, except that Driveway aprons and drop-offs may be located at the First Layer. Garages shall be located at the Third Layer.
 - f. The required parking may be provided greater than one-quarter mile of the site that it serves, subject to approval by Variance.
 - g. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by variance (see Section 5.8.1a).
- 5.3.5 Architectural Standards (T3):
- a. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.
 - b. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
 - c. Streetscreens and/or fences shall be located in line with the building Facade line as shown in Table 14.
- 5.3.6 Environmental Standards (T3):
- a. Transect Zones manifest a range of responses to natural and urban conditions. In case of conflict, to the extent not inconsistent with applicable state or federal law, the natural infrastructure shall have priority in the more rural zones (T1-T3) and the urban infrastructure shall have priority in the more urban zones (T4-T6) as detailed in Sections 5.2 through 5.6.
 - b. The landscape installed shall consist primarily of native species requiring minimal irrigation, fertilization and maintenance.
 - c. Impermeable surface by building shall be minimized and confined to the ratio of

- lot coverage by building shown in Table 12.
- d. To the extent not inconsistent with applicable state or federal law, storm water management must be consistent with the Harrison County Unified Development Code.
- 5.3.7 Landscape Standards (T3):
- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 14.
- b. Trees shall be of various species, naturalistically clustered, with an understory stall below for maintenance. Lawn shall be permitted by Variance.
- 5.3.8 Signage Standards (T3):
- a. One address number no more than six (6) inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
- b. One projected sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet.
- c. Signage within the shopfront glazing is permitted.
- d. There shall be no signage permitted additional to that specified in this section.
- e. Signage shall not be lit.
- 5.3.9 Ambient Standards (T3):
- a. For Ambient Standards, refer to the outdoor lighting standards in the Harrison County Unified Development Code.
- 5.3.10 Visitability Standards (T3):
- a. There shall be provided one zero-step entrance to each building from an accessible path at the front, side, or rear of each building.
- b. All first floor interior doors (including bathrooms) shall provide 32 inches of clear passage.
- 5.4 SPECIFIC TO GENERAL URBAN TRANSECT ZONES (T4)
- 5.4.1 Building Disposition (T4):
- a. Newly platted lots shall be dimensioned according to Table 13C
- b. Buildings shall be disposed in relation to the boundaries of their lots according to Table 13C
- c. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 13C.
- d. Lot coverage by building shall not exceed that shown in Table 13C.
- e. Facades shall be built parallel to a rectilinear Principal Frontage Line or parallel to the tangent of a curved Principal Frontage Line.
- f. Setbacks for Principal Buildings shall be as shown in Table 13C. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Variance.
- g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of the Alley or Rear Lane easement. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Table 13C.
- h. Building Types shall be as shown in Table 8.
- 5.4.2 Building Configuration (T4):
- a. Private Frontage types shall conform to and be allocated in accordance with Tables 5 and 13C.
- b. Awnings may encroach the public sidewalk without limit. Stoops may encroach

100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.

- c. Loading docks and service areas shall be permitted on Frontages only by Variance.
- d. Building Heights shall conform to Table 6 and be as shown in Table 13C.
- e. All specified Building Heights may be increased by the applicable County and Federal FEMA standards.

5.4.3 Building Function & Density (T4):

- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 8, 10, and 13B. Functions that do not conform to the requirements of Tables 8 or 10 shall require approval by Variance.
- b. The Actual Parking available to meet the Required Parking shown on Table 9 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.4.3 c and 5.4.3 d.
- c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 9). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
- d. Within the Long Pedestrian Shed of a TOD, the Effective Parking available for calculating the intensity on each lot may be increased by a multiplier of thirty percent (30%).
- e. Accessory uses of Limited Lodging or Limited Office shall be permitted within an Outbuilding.

5.4.4 Parking Standards (T4):

- a. Vehicular parking shall be required as shown in Tables 9 and 10.
- b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot. On-street parking shall be permitted for lodging and commercial uses only.
- c. Maximum Parking ratios may be established by the CRC.
- d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
- e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.4.5b.
- f. All parking areas except for Driveways shall be located at the Third Layer as illustrated in Table 14. Garages shall be at the Third Layer.
- g. The required parking may be provided within 500 feet of the site that it serves, subject to approval by Variance.
- h. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- i. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Variance (see Section 5.8.1a).

5.4.5 Architectural Standards (T4):

- a. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.

- b. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
 - c. Streetscreens and/or fences shall be located in line with the building Facade line as shown in Table 14.
- 5.4.6 Environmental Standards (T4):
- a. Transect Zones manifest a range of responses to natural and urban conditions. In case of conflict, to the extent not inconsistent with applicable state or federal law, the natural infrastructure shall have priority in the more rural zones (T1-T3) and the urban infrastructure shall have priority in the more urban zones (T4-T6) as detailed in Sections 5.2 through 5.6.
 - b. The species of landscape installed shall consist primarily of native, durable species tolerant of soil compaction.
 - c. Impermeable surface shall be confined to the ratio of lot coverage by building, as shown in Table 12.
 - d. To the extent not inconsistent with applicable state or federal law, storm water management must be consistent with the Harrison County Unified Development Code.
- 5.4.7 Landscape Standards (T4):
- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 14.
 - b. Trees of species matching the planting on the Public Frontage as shown in Table 4. Lawn shall be permitted.
- 5.4.8 Signage Standards (T4):
- a. One address number no more than six (6) inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
 - b. One projected sign for each business may be permanently installed perpendicular to the Facade. Such a sign shall not exceed a total of 4 square feet.
 - c. Signage within the shopfront glazing is permitted.
 - d. There shall be no signage permitted additional to that specified in this section.
- 5.4.9 Ambient Standards (T4):
- a. For Ambient Standards, refer to the outdoor lighting standards in the Harrison County Unified Development Code.
- 5.4.10 Visitability Standards (T4):
- a. There shall be provided one zero-step entrance to each building from an accessible path at the front, side, or rear of each building.
 - b. All first floor interior doors (including bathrooms) shall provide 32 inches of clear passage.
- 5.5 SPECIFIC TO URBAN CENTER TRANSECT ZONES (T5)
- 5.5.1 Building Disposition (T5):
- a. Newly platted lots shall be dimensioned according to Table 13D
 - b. Buildings shall be disposed in relation to the boundaries of their lots according to Table 13D
 - c. One principal building at the Frontage, and one outbuilding to the rear of the principal building, may be built on each lot as shown in Table 14.
 - d. Lot coverage by building shall not exceed that shown in Table 13D.
 - e. Facades shall be built parallel to the Principal Frontage Line along a minimum of

70% of its length on the Setback shown in Table 13D. In the absence of a building along the remainder of the Frontage Line, a Streetscreen shall be built in line with the Facade.

- f. Setbacks for Principal Buildings shall be as shown in Table 12. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Variance.
 - g. Rear Setbacks for Outbuildings shall be as shown in Table 12. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Table 13D.
 - h. Building Types shall be as shown in Table 7.
 - i. Buildings shall have their principal pedestrian entrances on a Frontage Line.
- 5.5.2 Building Configuration (T5):
- a. Private Frontage types shall conform to and be allocated in accordance with Table 7 5 and Table 13D.
 - b. Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.
 - c. Loading docks and service areas shall be permitted on Frontages only by Variance.
 - d. Building Heights shall conform to Table 6 and be as shown in Table 13D.
 - e. A first level Residential or Lodging Function shall be raised a minimum of 30 inches outside of flood hazard areas.
 - f. All specified Building Heights may be increased by the applicable County and Federal FEMA standards.
- 5.5.3 Building Function & Density (T5):
- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 8 and 13D. Functions that do not conform to the requirements of Table 8 shall require approval by Variance.
 - b. The Actual Parking available to meet the Required Parking shown on Table 9 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.5.3 c and 5.5.3 d.
 - c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 9). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
 - d. Within the Long Pedestrian Shed of a TOD, the Effective Parking available for calculating the intensity on each lot may be increased by a multiplier of thirty percent (30%).
 - e. Accessory uses of Limited Lodging or Limited Office shall be permitted within an outbuilding.
 - f. First story Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
 - g. Manufacturing within the first Story may be permitted by Variance.
- 5.5.4 Parking Standards (T5):

- a. Vehicular parking shall be required as shown in Tables 8 and 9.
 - b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot. In cases of shared parking, a building may count a particular parking space as its own if more than half of that parking space occupies the building front. On-street parking shall be permitted for lodging and commercial uses only.
 - c. Parking that exceeds 120 percent of the minimum parking requirement shall be considered overflow parking and shall comply with Section 700 of the Harrison County Unified Development Code.
 - d. Parking shall be accessed by the Alley or Rear Lane when such is available in the Community Plan.
 - e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.5.5c.
 - f. All parking areas shall be located at the Third Lot Layer .
 - g. The required parking may be provided within 500 feet of the site that it serves.
 - h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
 - i. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
 - j. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the Frontage by Variance (see Section 5.8.1a).
- 5.5.5 Architectural Standards (T5):
- a. The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.
 - b. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
 - c. Streetscreens and/or fences shall be located in line with the building Facade line as shown in Table 14.
- 5.5.6 Environmental Standards (T5):
- a. Transect Zones manifest a range of responses to natural and urban conditions. In case of conflict, to the extent not inconsistent with applicable state or federal law, the natural infrastructure shall have priority in the more rural zones (T1-T3) and the urban infrastructure shall have priority in the more urban zones (T4-T6) as detailed in Sections 5.2 through 5.6.
 - b. The landscape installed shall consist primarily of native, durable species tolerant of soil compaction.
 - c. Impermeable surface by building shall be confined to the ratio of lot coverage as shown in Table 12.
 - d. To the extent not inconsistent with applicable state or federal law, storm water management must be consistent with the Harrison County Unified Development Code.
- 5.5.7 Landscape Standards (T5):
- a. A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 14.
 - b. The First Layer as shown in Table 14 shall be landscaped or paved to match the enfronting Public Frontage as shown in Table 4.
 - c. Trees shall be a species with shade canopies that, at maturity, begin higher than

- the top of the second Story of buildings.
- 5.5.8 Signage Standards (T5):
- One address number no more than six (6) inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
 - Projected signs, not to exceed 6 square feet for each separate business entrance, may be attached perpendicular to the Facade.
 - Signage within the shopfront glazing is permitted.
 - A single external sign band may be applied to the Facade of each building, providing that such sign not exceed 3 feet in height by any length.
 - Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.
- 5.5.9 Ambient Standards (T5):
- For Ambient Standards, refer to the outdoor lighting standards in the Harrison County Unified Development Code.
- 5.5.10 Visitability Standards (T5):
- There shall be provided one zero-step entrance to each building from an accessible path at the front, side, or rear of each building.
 - All first floor interior doors (including bathrooms) shall provide 32 inches of clear passage.
- 5.6 SPECIFIC TO URBAN CORE TRANSECT ZONES (T6)
- 5.6.1 Building Disposition (T6):
- Newly platted lots shall be dimensioned according to Table 13E.
 - Buildings shall be disposed in relation to the boundaries of their lots according to Table 13E.
 - One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each lot as shown in Table 14.
 - Lot coverage by building shall not exceed that shown in Table 13E.
 - Facades shall be built parallel to the Principal Frontage Line along a minimum of 75% of its length on the Setback shown in Table 13E. In the absence of building along the remainder of the Frontage Line, a streetscreen shall be built in line with the Facade.
 - Setbacks for Principal Buildings shall be as shown in Table 12. In the case of an Infill lot, Setbacks shall match one or the other of the existing adjacent Setbacks. Setbacks may otherwise be adjusted by Variance.
 - Rear Setbacks for Outbuildings shall be as shown in Table 12. In the absence of Rear Alley or Lane, the rear Setback shall be as shown in Table 13E.
 - Building Types shall be as shown in Table 7.
 - Buildings shall have their principal pedestrian entrances on a Frontage Line.
- 5.6.2 Building Configuration (T6):
- Private Frontage types shall conform to and be allocated in accordance with Tables 5 and 13E.
 - Awnings may encroach the public sidewalk without limit. Stoops may encroach 100% of the depth of a Setback. Open porches and awnings may encroach up to 50% of the depth of the Setback. Balconies and bay windows may encroach up to 25% of the depth of the Setback.
 - Loading docks and service areas shall be permitted on Frontages only by Variance.

- d. Building Heights shall conform to Table 6 and be allocated as required in Table 13E.
 - e. A first level Residential or Lodging Function shall be raised a minimum of 30 inches and no more than 4 feet from average sidewalk grade.
 - f. All specified Building Heights may be increased by the applicable County and Federal FEMA standards.
- 5.6.3 Building Function & Density (T6):
- a. Buildings in each Transect Zone shall conform to the Functions described in Tables 8 and 13E. Functions that do not conform to the requirements of Table 8 and shall require approval by Variance.
 - b. The Actual Parking available to meet the Required Parking shown on Table 9 shall constitute the Base Density. Functions shall be limited by the Base Density, subject to upward adjustment in accordance with paragraphs 5.6.3c and 5.6.3d.
 - c. The Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions within any pair of adjacent Blocks, and the resulting sum then multiplied by the corresponding Sharing Factor (Table 9). The result shall be the Effective Parking available for calculating an Adjusted Density. Conversely: The Effective Parking required is the sum of the Required Parking divided by the Sharing Factor.
 - d. Within the Long Pedestrian Shed of a TOD, the Effective Parking available for calculating the intensity on each lot may be increased by a multiplier of thirty percent (30%).
 - e. Ground floor Commercial shall be permitted throughout and shall be required at Mandatory Shopfront Frontages.
 - f. Manufacturing within the first story shall be permitted by Variance.
- 5.6.4 Parking Standards (T6):
- a. Vehicular parking shall be required as shown in Tables 8 and 9.
 - b. On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot. On-street parking shall be permitted for lodging and commercial uses only.
 - c. Parking that exceeds 120 percent of the minimum parking requirement shall be considered overflow parking and shall comply with Section 700 of the Harrison County Unified Development Code.
 - d. Parking shall be accessed by the Alley or Rear Lane, when such are available on the Community Plan.
 - e. Parking lots shall be masked from the Frontage by a Liner Building or Streetscreen as specified in Section 5.6.5b.
 - f. All parking areas shall be located at the Third Lot Layer.
 - g. The required parking may be provided within 500 feet of the site that it serves, subject to approval by Variance.
 - h. The vehicular entrance of a parking lot or garage on a Frontage shall be no wider than 30 feet.
 - i. Pedestrian entrances to all parking lots and parking structures shall be directly from a Frontage Line. Only underground parking structures may be entered by pedestrians directly from a Principal Building.
 - j. A minimum of one bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
 - k. For buildings on Secondary Grids (S-Grids), parking lots may be allowed on the

- Frontage by Variance (see Section 5.8.1a).
- 5.6.5 Architectural Standards (T6):
- The Facades on Retail Frontages shall be detailed as storefronts and glazed with clear glass no less than 70% of the sidewalk-level story.
 - Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the CRC.
 - Streetscreens and/or fences shall be located in line with the Facades as shown in Table 16C.
- 5.6.6 Environmental Standards (T6):
- Transect Zones manifest a range of responses to natural and urban conditions. In case of conflict, to the extent not inconsistent with applicable state or federal law, the natural infrastructure shall have priority in the more rural zones (T1-T3) and the urban infrastructure shall have priority in the more urban zones (T4-T6) as detailed in Sections 5.2 through 5.6.
 - The species of landscape installed shall consist primarily of native, durable species tolerant of soil compaction.
 - Impermeable surface by building shall be confined to the ratio of lot coverage by building as shown in Table 12.
 - To the extent not inconsistent with applicable state or federal law, storm water management must be consistent with the Harrison County Unified Development Code.
- 5.6.7 Landscape Standards (T6):
- A minimum of one tree to match the species of street trees on the Public Frontage shall be planted within the First Layer for each 30 feet of Frontage Line as illustrated in Table 14.
 - The First Layer as shown in Tables 4 and 7, shall be landscaped or paved to match the Public Frontage as shown in Table 6.
 - Trees shall be a species with shade canopies that, at maturity, begin higher than the top of the second Story of buildings.
 - Trees shall not be required in the First Layer (Table 14).
- 5.6.8 Signage Standards (T6):
- One address number no more than 6 inches measured vertically shall be attached to the building in proximity to the principal entrance or at a mailbox.
 - Projected signs, not to exceed 6 square feet for each separate business entrance, may be attached perpendicular to the Facade.
 - A single external sign band may be applied to the Facade of each building, provided that such sign does not exceed 3 feet in height by any length.
 - Signage shall be externally lit, except that signage within the shopfront glazing may be neon lit.
- 5.6.9 Ambient Standards (T6):
- For Ambient Standards, refer to the outdoor lighting standards in the Harrison County Unified Development Code.
- 5.6.10 Visitability Standards (T6):
- There shall be provided one zero-step entrance to each building from an accessible path at the front, side, or rear of each building.
 - All first floor interior doors (including bathrooms) shall provide 32 inches of clear passage.

5.7 CIVIC FUNCTIONS**5.7.1 GENERAL**

- a. Community Plans shall designate, or allow by variance, Civic Space (CS) and Civic Building (CB).
- b. Civic Functions are permitted so long as they do not occupy more than a total of 20% of the area of each Pedestrian Shed. A Civic Function requiring more than 20% of the Pedestrian Shed shall be subject to the creation of a Special District. (See Section 5.8)
- c. Parking for Civic Functions shall be as shown in Table 9.

5.7.2 CIVIC SPACE (CS)

- a. Civic Spaces are permitted in any Transect Zone.
- b. Civic Spaces shall be generally designed as described in Table 11.

5.7.3 CIVIC BUILDING (CB)

- a. Civic Buildings are permitted in any Transect Zone, on sites reserved for them.
- b. Civic Buildings shall not be subject to the Requirements of the Building Scale Code. The particulars of their design shall be determined by Variance.

5.8 SPECIAL REQUIREMENTS**5.8.1** A Community Plan may designate the following special requirements:

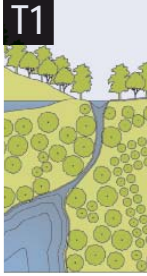


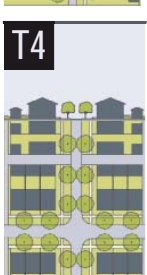
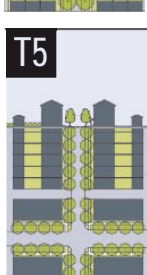
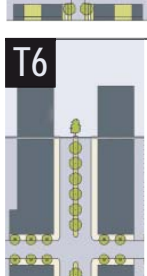
- a. A differentiation of the Thoroughfares as a Primary-Grid (P-Grid) and a Secondary-Grid (S-Grid). Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Buildings along the S-Grid may be more readily considered for Variances allowing automobile-oriented standards. The Frontages assigned to the S-Grid shall not exceed 30% of the total length within a Pedestrian Shed.

5.9 PRE-EXISTING CONDITIONS**5.9.1** For existing buildings, refer to the Nonconforming Uses section of the Harrison County Unified Development Code.

The following Tables and their associated metrics are an integral part of the SmartCode. They are meant to work in conjunction with the SmartCode text to help illustrate the concepts explained in the Articles. Table 12 is a summary of the metrics of the other Tables. Article 5 includes building scale codes for Transect Zones 2 through 6, illustrations for which are shown in Table 13.

Harrison County, Mississippi

TABLE 1: Transect Zone Descriptions. The following are general descriptions of the character of each Transect Zone. They may be interpreted as a constituent part of the Intent of this Code.

	<p>T1 T-1 NATURAL General Character: Natural landscape with some agricultural use Building Placement: Not applicable Frontage Types: Not applicable Typical Building Height: Not applicable Type of Civic Space: Parks, Greenways</p>
	<p>T2 T-2 RURAL General Character: Generally agriculture, forestland and wetlands with scattered buildings Building Placement: Variable Setbacks Frontage Types: Not applicable Typical Building Height: 1- to 2-Story Type of Civic Space: Parks, Greenways</p>
	<p>T3 T-3 SUB-URBAN General Character: Lawns, and landscaped yards surrounding detached single-family houses; pedestrians occasionally, neighborhood commercial at major intersections. Building Placement: Large and variable front and side yard Setbacks Frontage Types: Porches, fences, naturalistic tree planting Typical Building Height: 1- to 2-Story Type of Civic Space: Parks, Greenways</p>
	<p>T4 T-4 GENERAL URBAN General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians Building Placement: Shallow to medium front and side yard Setbacks Frontage Types: Porches, fences, Dooryards Typical Building Height: 2-Story Type of Civic Space: Squares, Greens</p>
	<p>T5 T-5 URBAN CENTER General Character: Shops mixed with Townhouses, larger Apartment houses, Offices, workplace, and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity Building Placement: Shallow Setbacks or none; buildings oriented to street defining a street wall Frontage Types: Stoops, Shopfronts, Galleries Typical Building Height: 2- to 3-Story, with Fire Department approval Type of Civic Space: Parks, Plazas and Squares, median landscaping</p>
	<p>T6 T-6 URBAN CORE General Character: Medium to high-Density Mixed Use buildings, entertainment, Civic and cultural uses. Attached buildings forming a continuous street wall; trees within the public right-of-way; highest pedestrian and transit activity Building Placement: Shallow Setbacks or none; buildings oriented to street, defining a street wall Frontage Types: Stoops, Dooryards, Forecourts, Shopfronts, Galleries, and Arcades Typical Building Height: 2- to 5-Story, with Fire Department approval Type of Civic Space: Parks, Plazas and Squares; median landscaping</p>

Harrison County, Mississippi

This table defines the geography, including both natural and infrastructural elements, which determine the areas suitable for one or several of the three Community types that are specified by this code. This table also allocates the proportions of Transect Zones within each Community type.

TABLE 2A

TABLE 2B

	01 PRESERVED OPEN SECTOR		02 RESERVED OPEN SECTOR		G1 RESTRICTED GROWTH SECTOR		G2 CONTROLLED GROWTH SECTOR		G3 INTENDED GROWTH SECTOR			G4 INFILL GROWTH SECTOR		
					CLD		CLD		TND			TND RCD TOD		
T1	NO MINIMUM	NO MINIMUM	NO MINIMUM	NO MINIMUM	NO MINIMUM	NO MIN	NO MIN	NO MIN	NO MIN	NO MIN	NO MIN			
T2	NO MINIMUM	NO MINIMUM	50% MIN	50% MIN	NO MIN	NO MIN	NO MIN	NO MIN	NO MIN	NO MIN	NO MIN			
T3			20 - 40%	20 - 40%	10 - 30%	10 - 30%	NOT PERMITTED	NOT PERMITTED						
T4			10 - 30%	10 - 30%	30 - 60%	30 - 60%	10 - 30%	10 - 30%	VARIABLE	VARIABLE	VARIABLE			
T5			NOT PERMITTED	NOT PERMITTED	10 - 30%	10 - 30%	40 - 80%	40 - 80%	VARIABLE	VARIABLE	VARIABLE			
T6			NOT PERMITTED	NOT PERMITTED	NOT PERMITTED	NOT PERMITTED	10 - 30%	10 - 30%	VARIABLE	VARIABLE	VARIABLE			

Harrison County, Mississippi

TABLE 3A: Vehicular Lane Dimensions. This table assigns lanes to Transect Zones based on lane width, which is the principal determinant of traffic (design) speed. The most typical assemblies are shown in Table 3B. Specific requirements for truck and transit bus routes and truck loading shall be decided by Warrant.

DESIGN SPEED	TRAVEL LANE WIDTH	T1	T2	T3	T4	T5	T6
20-25 mph	9 feet	▪	▪	▪	▪	□	□
25-35 mph	10 feet	▪	▪	▪	▪	▪	▪
25-35 mph	11 feet	▪	▪			▪	▪
Above 35 mph	12 feet	▪	▪			▪	▪

DESIGN SPEED	PARKING LANE WIDTH	T1	T2	T3	T4	T5	T6
20-25 mph	(Angle) 18 feet					▪	▪
20-35 mph	(Parallel) 8 feet			▪	▪	▪	▪
Above 35 mph	(Parallel) 9 feet					▪	▪

DESIGN SPEED	EFFECTIVE TURNING RADIUS	T1	T2	T3	T4	T5	T6
20-25 mph	10-15 feet	▪	▪	▪	▪	▪	▪
25-35 mph	15-20 feet	▪	▪	▪	▪	▪	▪
Above 35 mph	20-30 feet	▪	▪			□	□
Above 35 mph	20-30 feet	▪	▪			□	□

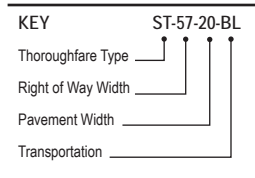
▪ BY RIGHT

□ BY VARIANCE

TABLE 3B: Vehicular Lane & Parking Assemblies. This table shows lane widths, parking provisions, and Turning Radii based on the projected design speeds for the various Transect Zones. See Table 14 for more on turning radii.

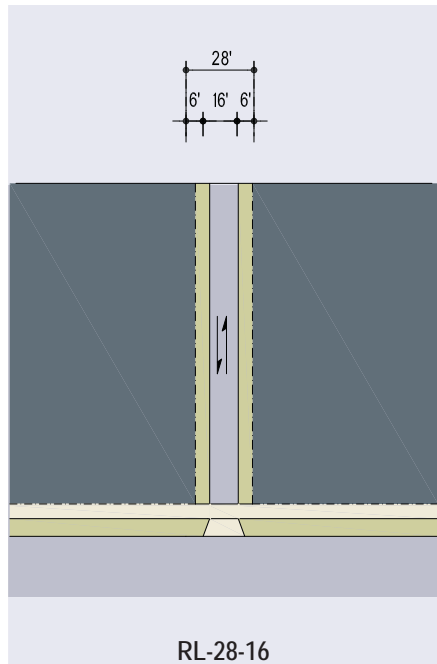
	ONE WAY MOVEMENT		TWO WAY MOVEMENT		
a. NO PARKING	T1 T2 T3	T1 T2 T3	T1 T2 T3	T1 T2	T1 T2
Design ADT	300 VPD	600 VPD	2,500 VPD	22,000 VPD	36,000 VPD
Pedestrian Crossing	3 Seconds	5 Seconds	5 Seconds	9 Seconds	13 Seconds
Design Speed	20-30 MPH	20-30 MPH	20-25 MPH	30-35 MPH	35 MPH and above
b. PARKING ACCESS			T3 T4	T5 T6	
Design ADT			5 Seconds	6 Seconds	
Pedestrian Crossing					
Design Speed					
c. PARKING ONE SIDE PARALLEL	T3 T4	T3 T4 T5	T4 T5	T4 T5 T6	T5 T6
Design ADT	5,000 VPD	18,000 VPD	16,000 VPD	15,000 VPD	32,000 VPD
Pedestrian Crossing	5 Seconds	8 Seconds	8 Seconds	11 Seconds	13 Seconds
Design Speed	20-30 MPH	25-30 MPH	25-30 MPH	25-30 MPH	25-30 MPH
d. PARKING BOTH SIDES PARALLEL	T4	T4 T5 T6	T4 T5 T6	T5 T6	T5 T6
Design ADT	8,000 VPD	20,000 VPD	15,000 VPD	22,000 VPD	32,000 VPD
Pedestrian Crossing	7 Seconds	10 Seconds	10 Seconds	13 Seconds	15 Seconds
Design Speed	Below 20 MPH	25-30 MPH	25-30 MPH	25-30 MPH	35 MPH and above
e. PARKING BOTH SIDES DIAGONAL	T5 T6	T5 T6	T5 T6	T5 T6	T5 T6
Design ADT	18,000 VPD	20,000 VPD	15,000 VPD	22,000 VPD	31,000 VPD
Pedestrian Crossing	15 Seconds	17 Seconds	17 Seconds	20 Seconds	23 Seconds
Design Speed	20-30 MPH	20-25 MPH	20-25 MPH	25-30 MPH	25-30 MPH

TABLE 3C: Thoroughfare Assemblies. This table assembles Thoroughfares from the elements that appear in Tables 3A and 3B and incorporate the Public Frontages of Table 4A. The key gives the Thoroughfare type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability. Two examples are included here.

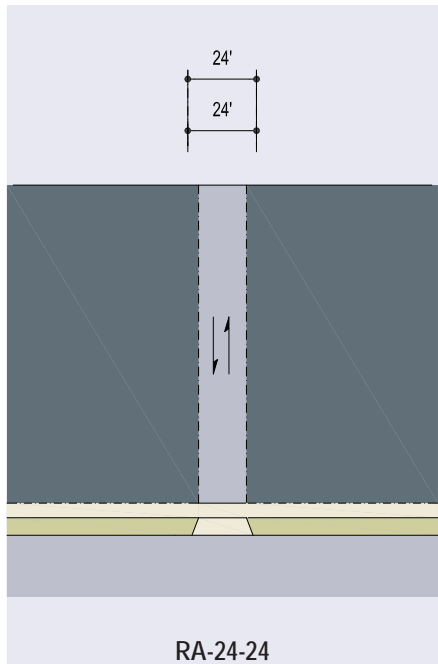


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

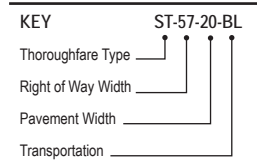


RL-28-16
Rear Lane
T3, T4
28feet
16 feet
Yield Movement
10 MPH
5 seconds
n/a
None
Taper
None
None
Inverted Crown
None
None



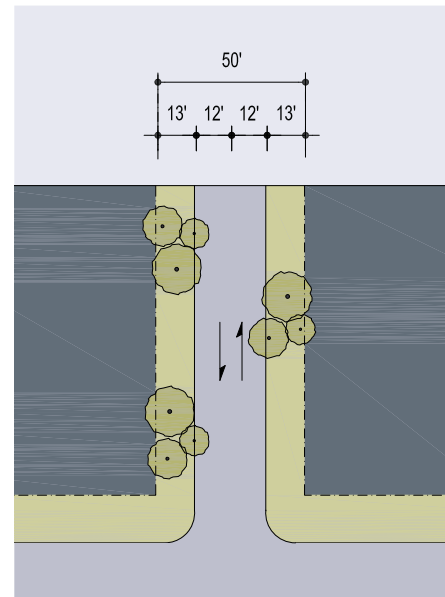
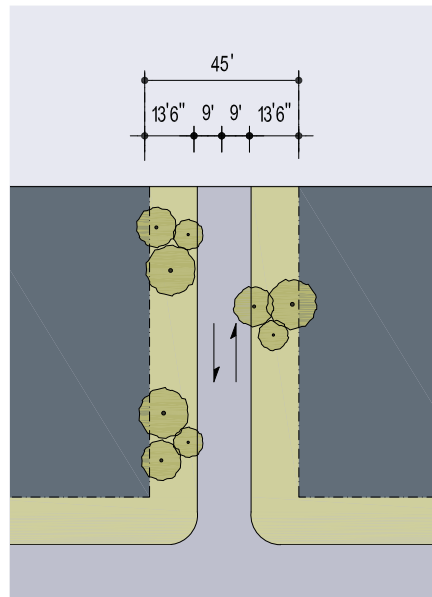
RA-24-24
Rear Alley
T5, T6
24 feet
24 feet
Slow Movement
10 MPH
7 seconds
n/a
None
Taper
None
None
Inverted Crown
None
None

Thoroughfare Type	
Transect Zone Assignment	
Right-of-Way Width	
Pavement Width	
Movement	
Design Speed	
Pedestrian Crossing Time	
Traffic Lanes	
Parking Lanes	
Curb Radius	
Walkway Type	
Planter Type	
Curb Type	
Landscape Type	
Transportation Provision	



THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



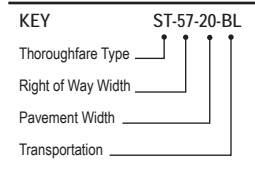
RD-45-18

RD-50-24

Thoroughfare Type	Road
Transect Zone Assignment	T1, T2, T3
Right-of-Way Width	45feet
Pavement Width	18 feet
Movement	Yield Movement
Design Speed	15 MPH
Pedestrian Crossing Time	5.1 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Walkway Type	Path optional
Planter Type	Continuous Swale
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT

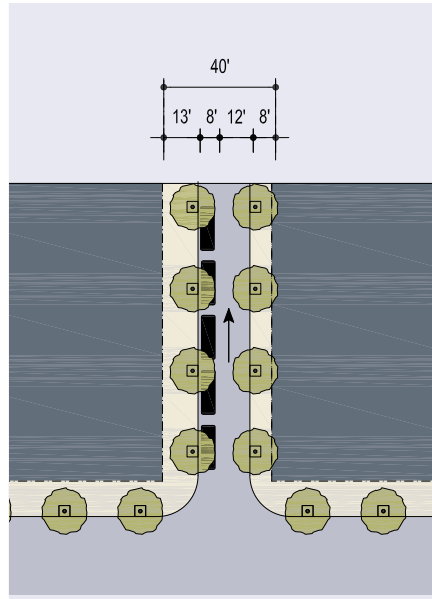
Thoroughfare Type	Road
Transect Zone Assignment	T1, T2, T3
Right-of-Way Width	50 feet
Pavement Width	24 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6.8 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Walkway Type	Path optional
Planter Type	Continuous Swale
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT

Thoroughfare Type	Road
Transect Zone Assignment	T1, T2, T3
Right-of-Way Width	50 feet
Pavement Width	24 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6.8 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Curb Radius	25 feet
Walkway Type	Path optional
Planter Type	Continuous Swale
Curb Type	Swale
Landscape Type	Trees clustered
Transportation Provision	BT

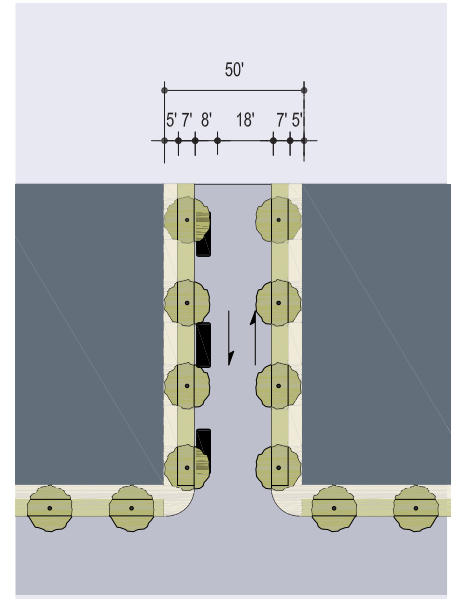


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



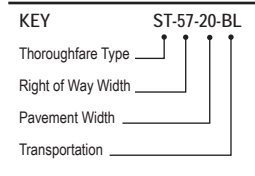
RD-41-20



ST-50-26

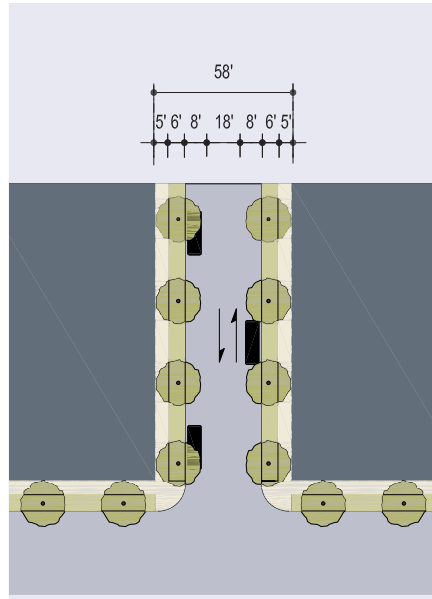
Thoroughfare Type	Road
Transect Zone Assignment	T5, T6
Right-of-Way Width	41 feet
Pavement Width	20 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6 seconds
Traffic Lanes	1 lanes
Parking Lanes	One side @ 8 feet marked
Curb Radius	15 feet
Walkway Type	13/8 Foot Sidewalk
Planter Type	4x4" tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30" o.c. Avg
Transportation Provision	

Thoroughfare Type	Street
Transect Zone Assignment	T4, T5, T6
Right-of-Way Width	50 feet
Pavement Width	26 feet
Movement	Free Movement
Design Speed	20 MPH
Pedestrian Crossing Time	7.4 seconds
Traffic Lanes	2 lane
Parking Lanes	One side @ 8 feet marked
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	7 foot continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30" o.c. Avg.
Transportation Provision	

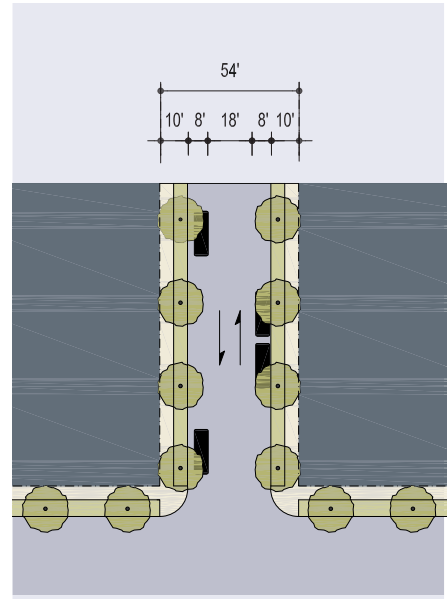


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



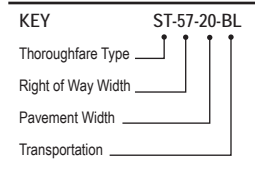
ST-58-34



ST-54-34

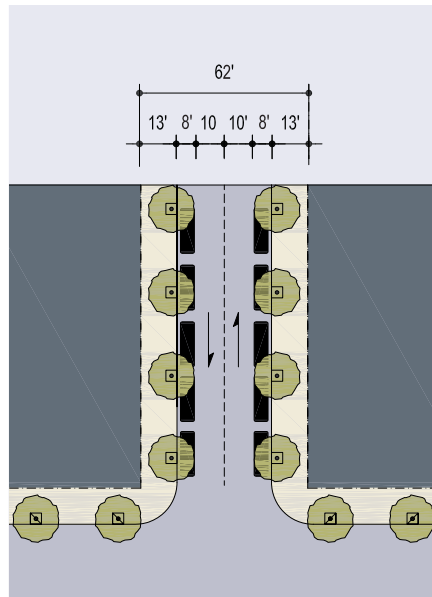
Thoroughfare Type	Street
Transect Zone Assignment	T4, T5, T6
Right-of-Way Width	58 feet
Pavement Width	34 feet
Movement	Yield Movement
Design Speed	20 MPH
Pedestrian Crossing Time	9.6 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet unmarked
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	6 foot continuous Planter
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

Thoroughfare Type	Street
Transect Zone Assignment	T3, T4
Right-of-Way Width	54 feet
Pavement Width	34 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	9.6 seconds
Traffic Lanes	2 lane
Parking Lanes	Both sides @ 8 feet unmarked
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planter Type	5 foot continuous Planter
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

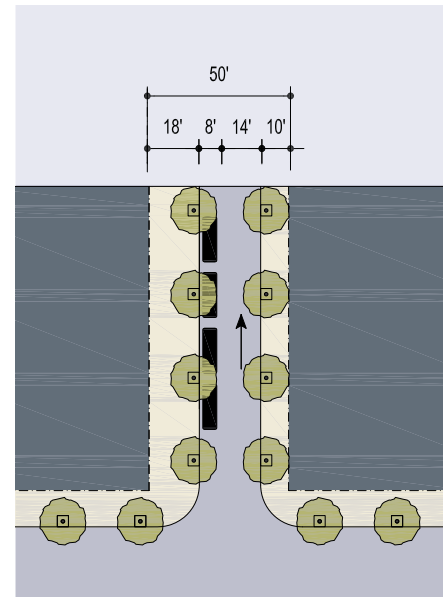


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



ST-62-36

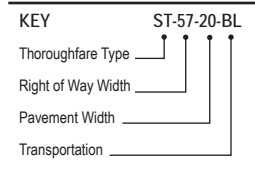


CS-50-22

Thoroughfare Type	Street
Transect Zone Assignment	T3, T4, T5
Right-of-Way Width	62 feet
Pavement Width	36 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	10.2 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	15 feet
Walkway Type	6 foot Sidewalk
Planter Type	7 foot continuous Planter
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR

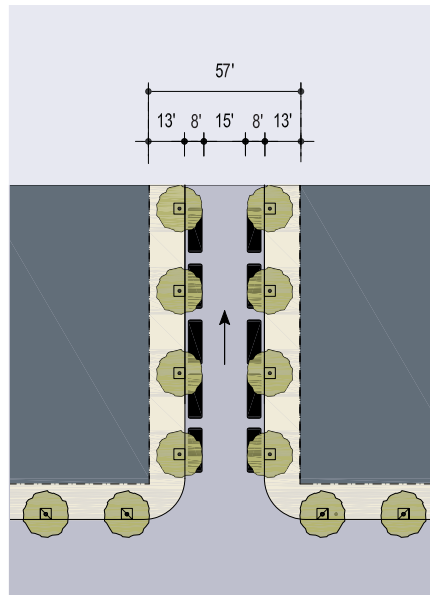
Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	50 feet
Pavement Width	22 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6.2 seconds
Traffic Lanes	1 lanes
Parking Lanes	One Side @ 8 feet marked
Curb Radius	15 feet
Walkway Type	18/10 foot Sidewalk
Planter Type	4x4 foot tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	50 feet
Pavement Width	22 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	6.2 seconds
Traffic Lanes	1 lanes
Parking Lanes	One Side @ 8 feet marked
Curb Radius	15 feet
Walkway Type	18/10 foot Sidewalk
Planter Type	4x4 foot tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

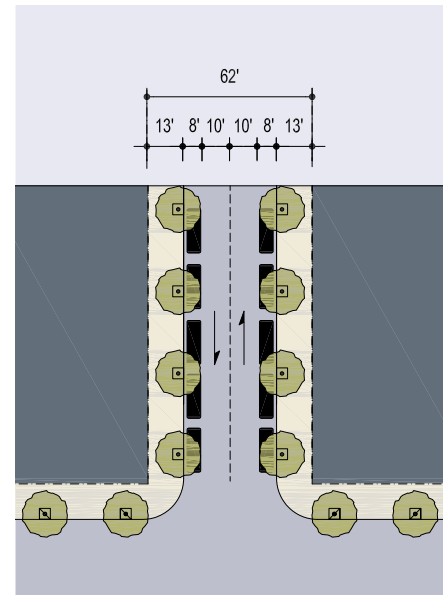


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



CS-57-31

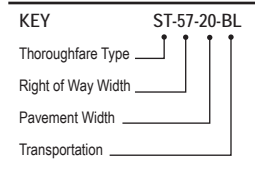


CS-62-36

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	57 feet
Pavement Width	31 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	8.7 seconds
Traffic Lanes	1 lane
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	15 feet
Walkway Type	13 foot Sidewalk
Planter Type	4x4" tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

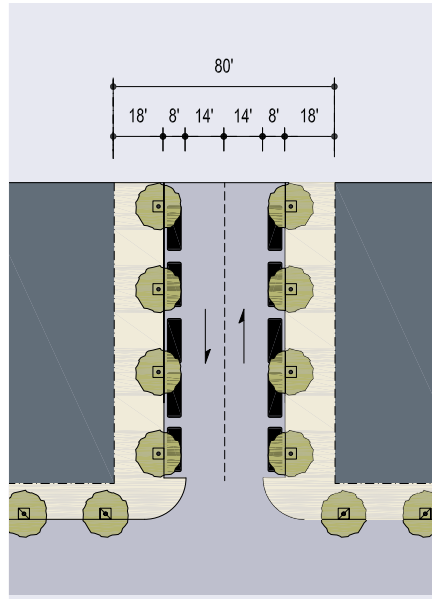
Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	62 feet
Pavement Width	36 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	10.2 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	10 feet
Walkway Type	13 foot Sidewalk
Planter Type	4x4" tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	62 feet
Pavement Width	36 feet
Movement	Slow Movement
Design Speed	20 MPH
Pedestrian Crossing Time	10.2 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet marked
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Planter Type	4x4" tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

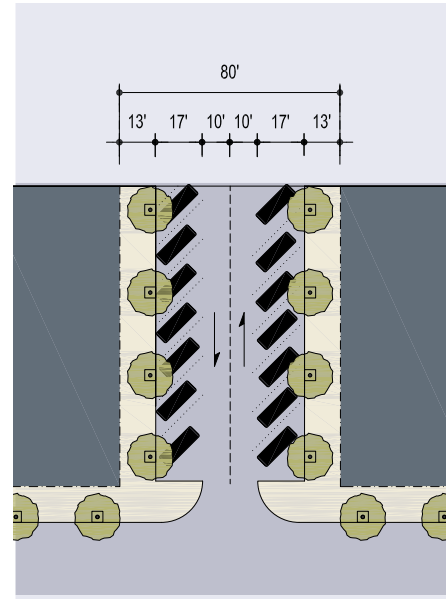


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR

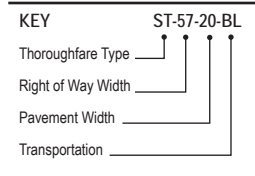


CS-80-44
Commercial Street
T5, T6
80 feet
44 feet
Free Movement
25 MPH
8 seconds at corners
2 lanes
Both sides @ 8 feet marked
10 feet
18 foot Sidewalk
4x4' tree well
Mountable Curb
Trees at 30' o.c. Avg.
Transportation Provision



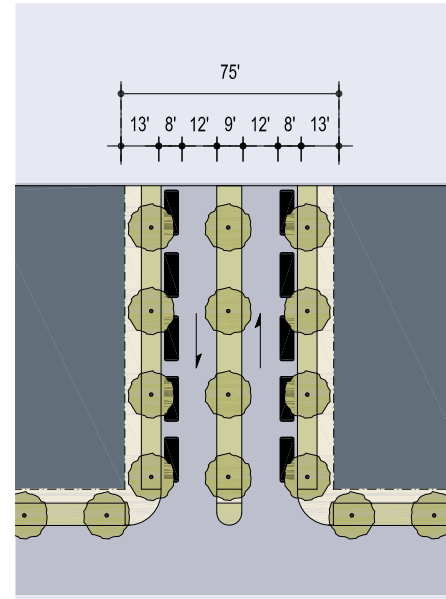
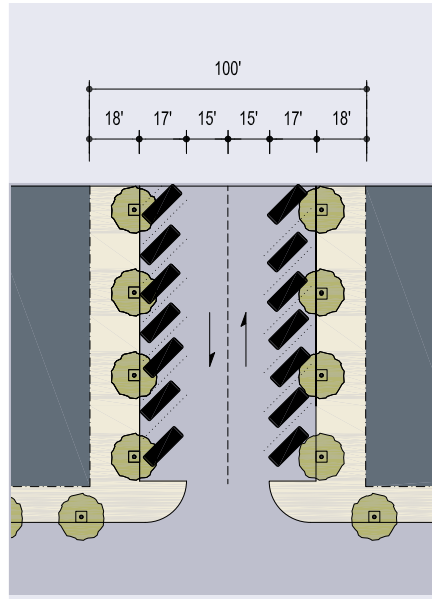
CS-80-54
Commercial Street
T5, T6
80 feet
54 feet
Slow Movement
25 MPH
5.7 seconds at corners
2 lanes
Both sides angled @ 17 feet marked
10 feet
13 foot Sidewalk
4x4' tree well
Mountable Curb
Trees at 30' o.c. Avg.
Transportation Provision

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	80 feet
Pavement Width	44 feet
Movement	Free Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8 seconds at corners
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	10 feet
Walkway Type	18 foot Sidewalk
Planter Type	4x4' tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	



THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



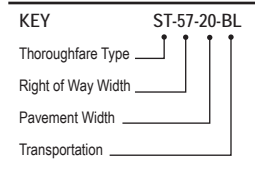
Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	100 feet
Pavement Width	64 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8.5 seconds at corners
Traffic Lanes	2 lanes
Parking Lanes	Both sides angled @ 17 feet marked
Curb Radius	10 feet
Walkway Type	18 foot Sidewalk
Planter Type	4X4' tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

CS-100-64

Thoroughfare Type	Commercial Street
Transect Zone Assignment	T5, T6
Right-of-Way Width	100 feet
Pavement Width	64 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8.5 seconds at corners
Traffic Lanes	2 lanes
Parking Lanes	Both sides angled @ 17 feet marked
Curb Radius	10 feet
Walkway Type	18 foot Sidewalk
Planter Type	4X4' tree well
Curb Type	Mountable Curb
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	

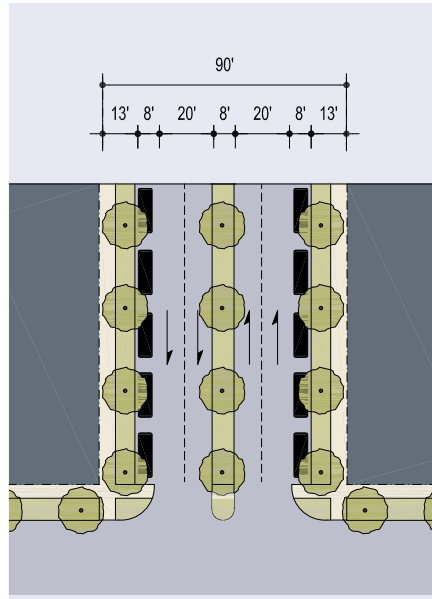
AV-75-40

Thoroughfare Type	Avenue
Transect Zone Assignment	T3,T4,T5
Right-of-Way Width	75 feet
Pavement Width	40 feet total
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	5.7 seconds-5.7 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	7 foot continuous planter
Curb Type	Mountable Curb or Swale
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

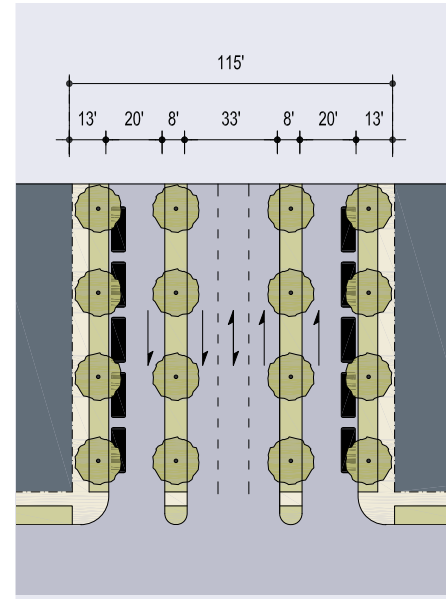


THOROUGHFARE TYPES

Highway:	HW
Boulevard:	BV
Avenue:	AV
Commercial Street:	CS
Drive:	DR
Street:	ST
Road:	RD
Rear Alley:	RA
Rear Lane:	RL
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Passage:	PS
Transit Route:	TR



AV-90-56



BV-125-33

Thoroughfare Type	Avenue
Transect Zone Assignment	T3, T4, T5
Right-of-Way Width	90 feet
Pavement Width	56 feet total
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	5.7 seconds - 5.7 seconds at corners
Traffic Lanes	4 lanes
Parking Lanes	Both sides @ 8 feet marked
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	7 foot continuous Planter
Curb Type	Mountable Curb or Swale
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

Thoroughfare Type	Boulevard
Transect Zone Assignment	T5, T6
Right-of-Way Width	115 feet
Pavement Width	20 feet - 33 feet - 20 feet
Movement	Free Movement (inner lanes)
Design Speed	35 MPH
Pedestrian Crossing Time	5.7 seconds - 9.4 seconds - 5.7 seconds
Traffic Lanes	3 lanes, one turning lane & two one-way slip roads
Parking Lanes	8 feet
Curb Radius	10 feet
Walkway Type	6 foot Sidewalk
Planter Type	7 foot continuous Planter
Curb Type	Mountable Curb or Swale
Landscape Type	Trees at 30' o.c. Avg.
Transportation Provision	BR, TR

TABLE 4A: Public Frontages - General. The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes. Dimensions are given in Table 4B.

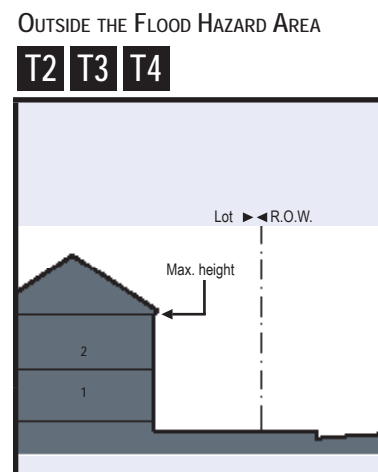
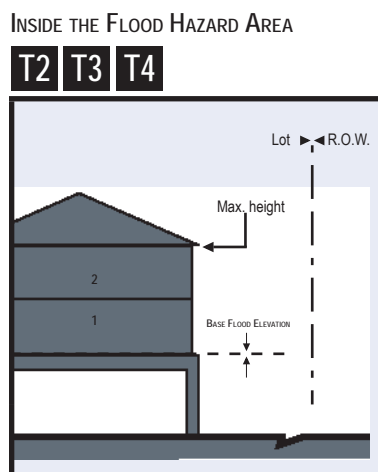
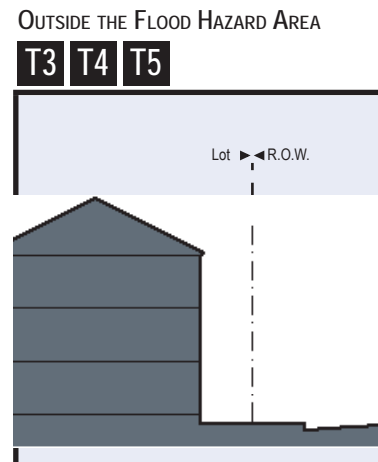
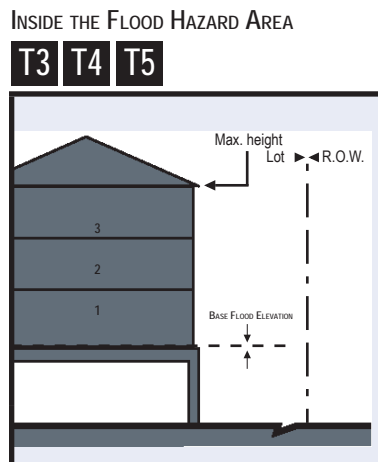
PLAN	
LOT ▶	◀ R.O.W.
PRIVATE FRONTAGE ▶	◀ PUBLIC FRONTAGE
<p>a. (HW) For Highway: This Frontage has open Swales drained by percolation, Bicycle Trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.</p>	<p>T1 T2 T3</p>
<p>b. (RD) For Road: This Frontage has open Swales drained by percolation and a walking Path or Bicycle Trail along one or both sides and Yield parking. The landscaping consists of multiple species arrayed in naturalistic clusters.</p>	<p>T1 T2 T3</p>
<p>c. (ST) For Street: This Frontage has raised Curbs drained by inlets and Sidewalks separated from the vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee, with the exception that Streets with a right-of-way (R.O.W.) width of 40 feet or less are exempt from tree requirements.</p>	<p>T3 T4 T5</p>
<p>d. (DR) For Drive: This Frontage has raised Curbs drained by inlets and a wide Sidewalk or paved Path along one side, related to a Greenway or waterfront. It is separated from the vehicular lanes by individual or continuous Planters. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.</p>	<p>T3 T4 T5 T6</p>
<p>e. (AV) For Avenue: This Frontage has raised Curbs drained by inlets and wide Sidewalks separated from the vehicular lanes by a narrow continuous Planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced Allee.</p>	<p>T3 T4 T5 T6</p>
<p>f. (CS) (AV) For Commercial Street or Avenue: This Frontage has raised Curbs drained by inlets and very wide Sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible, but clears the storefront entrances.</p>	<p>T5 T6</p>
<p>g. (BV) For Boulevard: This Frontage has Slip Roads on both sides. It consists of raised Curbs drained by inlets and Sidewalks along both sides, separated from the vehicular lanes by Planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced Allee.</p>	<p>T3 T4 T5 T6</p>

TABLE 5: Private Frontages. The Private Frontage is the Layer between the building and the Frontage Lot lines. Note that only temporary structures are permitted in the public right-of-way.

	SECTION		PLAN	
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
<p>a. Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>				T2 T3 T4
<p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p>				T3 T4 T5
<p>c. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p>				T5 T6
<p>d. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>				T5 T6
<p>e. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that should overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.</p>				T5 T6
<p>f. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>				T5 T6
<p>g. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. See Table 8.</p>				T6

TABLE 6: Building Configuration. This table illustrates how building heights are measured under the SmartCode. The heights shown in this table are for illustration purposes only and may not reflect the building height limits specified in this Code. Accurate height limits appear in Table 12 and in Tables 15A, 15B, 15C, 15D, and 15E.

*The vertical extent of a building is measured by number of Stories, not including a habitable Attic. In Transect Zones T2 through T4, maximum height for each Story is 14 feet clear, floor to ceiling. In Transects T5 and T6, the maximum height for every story other than the first is 14 feet clear; 20 feet clear, floor to ceiling, for the first Story. Buildings in excess of 35 feet from the ground must receive fire department approval.



For structures outside the Flood Hazard Zones specified in the County's Flood Damage Prevention Ordinance, height is measured from the average grade at the Frontage Line to the eaves of a pitched roof or to the surface of a flat roof. For structures inside areas regulated by the County Flood Damage Prevention Ordinance, height is measured from the minimum buildable elevation for the site.

TABLE 7: Building Disposition. This table approximates the location of the building relative to the boundaries of each individual Lot. Each of these very general types is intrinsically more or less urban, depending on the extent that it completes the Frontage.

<p>a. Edgeyard: Specific Types - single family House, cottage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>		<p>T1 T2 T3 T4 T5</p>
<p>b. Sideyard: Specific Types - Charleston single house, double house, zero-lot-line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p>		<p>T5 T6</p>
<p>c. Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use Block, Flex Building, perimeter Block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>		<p>T5 T6</p>
<p>d. Courtyard: Specific Types - Patio House. A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.</p>		<p>T6</p>

TABLE 8: Building Function - General. This table categorizes as Function the range of uses for which a building is appropriate within each Transect Zone. Parking requirements are correlated to functional intensity. For greater precision prescribing specific uses, Table 12 may be used in addition to Table 10.

	T2 T3	T4	T5 T6
a. RESIDENTIAL	Restricted Residential: The number of dwellings on each Lot is restricted to one within a Principal Building and one within an Accessory Building, with 2.0 parking places for each. Both dwellings shall be under single ownership. The habitable area of the Accessory dwelling shall not exceed 500 square feet.	Limited Residential: The number of dwellings on each Lot is limited by the requirement of 2 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 11).	Open Residential: The number of dwellings on each Lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 11).
b. LODGING	Restricted Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.5 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Limited Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.5 assigned parking places for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Open Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking places for each bedroom. Food service may be provided at all times. The area allocated for food service shall be calculated and provided with parking according to Retail Function.
c. OFFICE	Restricted Office: The building area available for office use on each Lot is restricted to the first Story of the Principal or the Accessory Building and by the requirement of 2.5 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Limited Office: The building area available for office use on each Lot is limited to the first Story of the principal building and/ or to the Accessory building, and by the requirement of 2.5 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Open Office: The building area available for office use on each Lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.
d. RETAIL	Restricted Retail: The building area available for Retail use is restricted to one Block corner location at the first Story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 20.	Limited Retail: The building area available for Retail use is limited to the first Story of buildings at corner locations, not more than one per Block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40.	Open Retail: The building area available for Retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net Retail space. Retail spaces under 1500 square feet are exempt from parking requirements.
e. CIVIC	Open Use: The building area available for civic use is open to building design criteria of the developer. Civic uses shall assign 3.0 parking spaces per 1000 square feet.	Open Use: The building area available for civic use is open to building design criteria of the developer. Civic uses shall assign 3.0 parking spaces per 1000 square feet.	Open Use: The building area available for civic use is open to building design criteria of the developer. Civic uses shall assign 2.0 parking spaces per 1000 square feet.
f. OTHER	See Table 12	See Table 12	See Table 12

Harrison County, Mississippi

TABLE 9a. Parking Calculations. The Required Parking table summarizes the parking requirements of Table 10 for each site or, conversely, the amount of building allowed on each site given the parking available.

REQUIRED PARKING (See Table 10)		
	T2 T3 T4	T5 T6
RESIDENTIAL	2.0 / dwelling	1.5 / dwelling
LODGING	1.5 / bedroom	1.0 / bedroom
OFFICE	2.5 / 1000 sq. ft.	2.0 / 1000 sq. ft.
RETAIL	4.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.
CIVIC	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.
OTHER	Refer to section 700 of the Harrison County Zoning Ordinance	

TABLE 9b. The Parking Calculation Table is a summary of the parking requirements that appear in Table 11, along with the associated Sharing Factors. There are two ways to use a Shared Parking Factor.

1. Density may be determined by the amount of parking provided. Base Density may be adjusted upward by adding the Actual Parking available for each of two Functions and the sum then multiplied by the corresponding Shared Parking Factor. The result shall be the Effective Parking available for calculating Adjusted Density for both Functions.
2. Conversely: The Effective Parking required for any two Functions whose Density is already determined is the sum of the Required Parking multiplied by the Shared Parking Factor.

SHARING FACTOR		
FUNCTION	WITH	FUNCTION
RESIDENTIAL		RESIDENTIAL
LODGING		LODGING
OFFICE		OFFICE
RETAIL		RETAIL
CIVIC		CIVIC

		1		
	91%	1	91%	
71%	59%	1	59%	91%
83%	77%	1	77%	83%
77%	83%	83%	77%	
83%	1	83%		
83%	83%	1		
				1

Harrison County, Mississippi

TABLE 10: Specific Function & Use. This table increases the precision of the Building Function categories of Table 8. Table 10 should be customized for local character and requirements.

	T1	T2	T3	T4	T5	T6	SD
a. RESIDENTIAL							
Accessory Building		■	■	■	■		□
Apartment Building			□	■	■	■	□
Cottage			■	■			□
Duplex Dwelling			□	■	■		
Dwelling		■	■	■			
Estate House		■	■	■	■		
Live/Work Unit			■	■	■	■	□
Row House				■	■	■	□
Sideyard House			■	■	■		
b. LODGING							
Bed & Breakfast (up to 5 rooms)		□	□	■	■	■	
Bed & Breakfast Inn			□	■	■	■	
Hotel					■	■	□
c. OFFICE							
Medical Clinic							□
Office Building				■	■	■	□
d. RETAIL							
Funeral Home				■	■	■	□
Hospital				■	■	■	□
Kiosk				■	■	■	□
Liquor Selling Establishment					■	■	
Movie Theater				■	■	■	
Open-Market Building			□	■	■	■	
Personal/Prof. Services					■	■	□
Religious Assembly			□	■	■	■	□
Restaurant				■	■	■	□
Retail Building				■	■	■	□
Shopping Center					■	■	□
Shopping Mall					■	■	□
e. CIVIC							
Bus Station			■	■	■	■	□
Convention Center					■	■	□
Fire Station			■	■	■	■	■
Fountain or Public Art		■	■	■	■	■	□



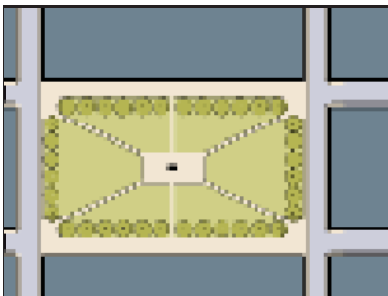
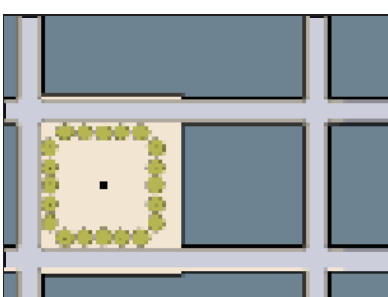
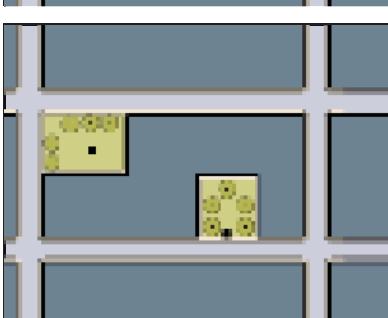
	T1	T2	T3	T4	T5	T6	SD
e. CIVIC (CON'T)							
Golf Course		■	■	■			□
Library				■	■	■	□
Marina					■	■	□
Museum					■	■	□
Outdoor Auditorium			■	■	■	■	□
Park	■	■	■	■	■	■	■
Parking Structure					■	■	□
Playground	■	■	■	■	■	■	■
Police Station				■	■	■	■
Surface Parking Lot				■	■	■	■
f. OTHER: AGRICULTURE							
Greenhouse	□	■	■				□
Kennel	■	■	□				□
Livestock Pen	□	■					□
Stable	■	□					□
f. OTHER: EDUCATION							
Childcare Center			■	■	■	■	□
College							□
Elementary School			■	■	■	■	□
High School				■	■	■	□
Trade School					■	■	
f. OTHER: INDUSTRIAL							
Electric Substation	□	□	□	□	□	□	□
Industrial						■	□
Mini-Warehouse Storage							■
Truck Terminal							□
Warehouse							■
Waste Facility							□
Water Supply Facility			□	□			□
Wireless Comm. Tower	■	■		□	□	□	□

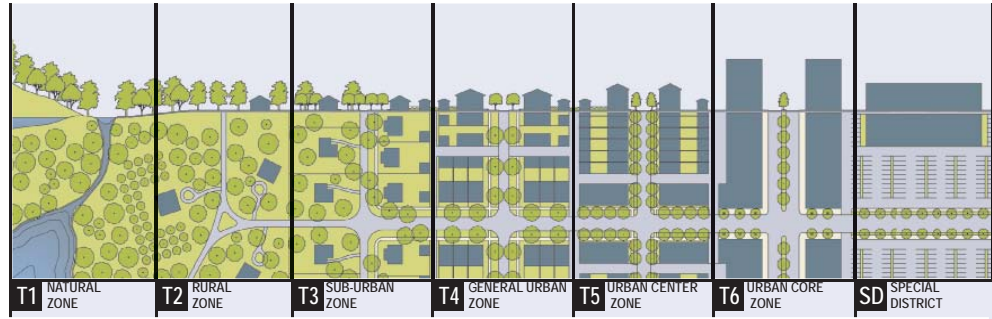
* Other uses not specifically listed shall be interpreted by the Zoning Administrator

■ BY RIGHT
 □ BY CONDITIONAL USE

Harrison County, Mississippi

TABLE 11: Civic Space. The intended types of Civic Space are diagrammed and described in this Table. The diagrams are only illustrative; specific designs would be prepared in accordance to the verbal descriptions on this table.

<p>a. Park: A natural preserve available for unstructured recreation. A park may be independent of surrounding building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 8 acres. Larger parks are allowed as a Special District in all zones.</p>	 <div style="display: flex; flex-direction: column; align-items: center; justify-content: center;"> <div style="background-color: black; color: white; padding: 2px;">T1</div> <div style="background-color: black; color: white; padding: 2px;">T2</div> <div style="background-color: black; color: white; padding: 2px;">T3</div> <div style="background-color: black; color: white; padding: 2px;">T4</div> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>b. Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.</p>	 <div style="display: flex; flex-direction: column; align-items: center; justify-content: center;"> <div style="background-color: black; color: white; padding: 2px;">T3</div> <div style="background-color: black; color: white; padding: 2px;">T4</div> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>c. Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.</p>	 <div style="display: flex; flex-direction: column; align-items: center; justify-content: center;"> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>d. Plaza: An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.</p>	 <div style="display: flex; flex-direction: column; align-items: center; justify-content: center;"> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>
<p>e. Playground: An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size. A Pocket Park may be substituted anywhere a Playground is required, but is designed for the use of adults, with benches, lighting, trash receptacles, and commonly more elaborate landscaping and use of public art than is typical of other Civic Spaces.</p>	 <div style="display: flex; flex-direction: column; align-items: center; justify-content: center;"> <div style="background-color: black; color: white; padding: 2px;">T1</div> <div style="background-color: black; color: white; padding: 2px;">T2</div> <div style="background-color: black; color: white; padding: 2px;">T3</div> <div style="background-color: black; color: white; padding: 2px;">T4</div> <div style="background-color: black; color: white; padding: 2px;">T5</div> <div style="background-color: black; color: white; padding: 2px;">T6</div> </div>



	T1 NATURAL ZONE	T2 RURAL ZONE	T3 SUB-URBAN ZONE	T4 GENERAL URBAN ZONE	T5 URBAN CENTER ZONE	T6 URBAN CORE ZONE	SD SPECIAL DISTRICT
a. ALLOCATION OF ZONES per Pedestrian Shed (applicable to Article 3 only)							
CLD requires	no minimum	50% min	20 - 40%	10 - 30%	not permitted	not permitted	*Special District standards are proposed by the developer and approved by Planning Commission
TND requires	no minimum	no minimum	10 - 30%	30 - 60%	10 - 30%	not permitted	
RCD requires	no minimum	no minimum	not permitted	10 - 30%	40 - 80%	10 - 30%	
TOD requires	no minimum	no minimum	not permitted	10 - 30%	40 - 80%	10 - 30%	
b. BASE RESIDENTIAL DENSITY (see Section 3.4)							
By Right	not applicable	1 unit / 10 ac gross	4 units / ac gross	6 units / ac gross	12 units / ac gross	20 units / ac gross	
Other Functions	by variance	by variance	10 - 20% min	10 - 20% min	20 - 30% min	30 - 50% min	
c. BLOCK SIZE							
Block Perimeter	no maximum	no maximum	3000 ft max	2400 ft max	2000 ft max	2000 ft max *	
d. THOROUGHFARES (see Table 3)						* 3000 ft. max with parking structures	
HW	permitted	permitted	permitted	permitted	not permitted	not permitted	
BV	not permitted	not permitted	permitted	permitted	permitted	permitted	
AV	not permitted	not permitted	permitted	permitted	permitted	permitted	
CS	not permitted	not permitted	not permitted	not permitted	not permitted	permitted	
ST	not permitted	not permitted	permitted	permitted	permitted	permitted	
RD	permitted	permitted	permitted	permitted	not permitted	not permitted	
Rear Lane	permitted	permitted	permitted	permitted	permitted	not permitted	
Rear Alley	not permitted	not permitted	permitted	permitted	permitted	required	
Path	permitted	permitted	permitted	permitted	permitted	not permitted	
Passage	not permitted	not permitted	permitted	permitted	permitted	permitted	
Bicycle Trail	permitted	permitted	permitted	permitted	not permitted *	not permitted	
Bicycle Lane	permitted	permitted	permitted	permitted	permitted	not permitted	
Bicycle Route	permitted	permitted	permitted	permitted	permitted	permitted	
e. CIVIC SPACES (see Table 11)						* permitted within Open Spaces	
Park	permitted	permitted	permitted	permitted	permitted	permitted	
Green	not permitted	not permitted	permitted	permitted	permitted	permitted	
Square	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
Plaza	not permitted	not permitted	not permitted	not permitted	not permitted	permitted	
Playground	permitted	permitted	permitted	permitted	permitted	permitted	
f. LOT OCCUPATION							
Lot Width	N/A	200 ft min	50 ft min, 120 ft max	20 ft min, 80 ft max	18 ft min	18 ft min	
Lot Coverage	N/A	10% max	40% max	50% max	70% max	80% max	
g. SETBACKS - PRINCIPAL BUILDING (see Table 13)							
Front Setback (Principal)	40 ft min	25 ft	25 ft	15 ft	0 ft min, 25 ft max	0 ft min, 25 ft max	
Front Setback (Secondary)	40 ft min	25 ft	25 ft	15 ft	0 ft min, 25 ft max	0 ft min, 25 ft max	
Side Setback	15 ft	8 ft	8 ft	5 ft	0 ft min, 8 ft max	0 ft min, 8 ft max	
Rear Setback	30 ft	15 ft	10 ft	10 ft	0 ft min, 30 ft max *	0 ft min, 30 ft max *	
Frontage Buildout	N/A	N/A	40% min	40% min	60% min	80% min	
h. SETBACKS - OUTBUILDINGS						* or 42 ft from center line of alley	
Front Setback	40 ft	25 ft	25 ft	25 ft	25 ft	25 ft	
Side Setback	15 ft	8 ft	8 ft	8 ft	8 ft	0 ft min, 8 ft max	
Rear Setback	30 ft	15 ft	10 ft	10 ft	30 ft	0 ft min, 30 ft max *	
i. BUILDING DISPOSITION (see Table 7)							
Edgeyard	permitted	permitted	permitted	permitted	permitted	not permitted	
Sidyard	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
Rearyard	not permitted	not permitted	not permitted	not permitted	permitted	permitted	
Courtyard	not permitted	not permitted	not permitted	not permitted	not permitted	permitted	
j. PRIVATE FRONTAGES (see Table 5)							
Common Yard	N/A	permitted	permitted	permitted	not permitted	not permitted	
Porch & Fence	N/A	not permitted	permitted	permitted	permitted	not permitted	
Forecourt	N/A	not permitted	not permitted	not permitted	permitted	permitted	
Stoop	N/A	not permitted	not permitted	not permitted	permitted	permitted	
Shopfront & Awning	N/A	not permitted	not permitted	not permitted	permitted	permitted	
Gallery	N/A	not permitted	not permitted	not permitted	permitted	permitted	
Arcade	N/A	not permitted	not permitted	not permitted	not permitted	permitted	
k. BUILDING CONFIGURATION (see Table 6)							
Principal Building	N/A	2 Stories max *	2 Stories max *	2 Stories max *	3 Stories max, 2 min *	5 Stories max, 2 min *	
Outbuilding	N/A	2 Stories max	2 Stories max	2 Stories max	2 Stories max	2 Stories max	
l. BUILDING FUNCTION (see Table 8 & Table 10)						* with Fire Department approval	
Residential	N/A	restricted use	restricted use	limited use	open use	open use	
Lodging	N/A	restricted use	restricted use	limited use	open use	open use	
Office	N/A	restricted use	restricted use	limited use	open use	open use	
Retail	N/A	restricted use	restricted use	limited use	open use	open use	

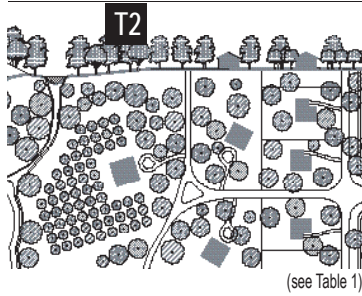
ARTICLE 5
ARTICLE 2, 3, 4

DISPOSITION

CONFIGURATION

FUNCTION

TABLE 13: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



(see Table 1)

BUILDING FUNCTION (see Table 8 & Table 10)

Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use

BUILDING CONFIGURATION (see Table 6)

Principal Building	2 stories max *
Outbuilding	2 stories max

LOT OCCUPATION

Lot Width	200 ft min
Lot Coverage	10% max

BUILDING DISPOSITION (see Table 7)

Edgeyard	permitted
Sidyard	not permitted
Rearyard	not permitted
Courtyard	not permitted

SETBACKS - PRINCIPAL BUILDING

Front Setback (P)	25 ft min
Front Setback (S)	25 ft min
Side Setback	8 ft min
Rear Setback	15 ft min *
Frontage Buildout	N/A

SETBACKS - OUTBUILDING

Front Setback	25 ft min
Side Setback	8 ft min
Rear Setback	15 ft min

PRIVATE FRONTAGES (see Table 5)

Common Lawn	permitted
Porch & Fence	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted

Refer to Summary Table 12

PARKING PROVISIONS

See Table 8 & Table 9

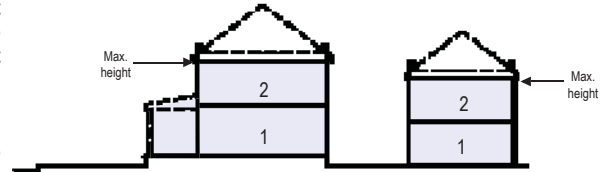
* with Fire Department approval when over 35 feet in height

** or 15 feet from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

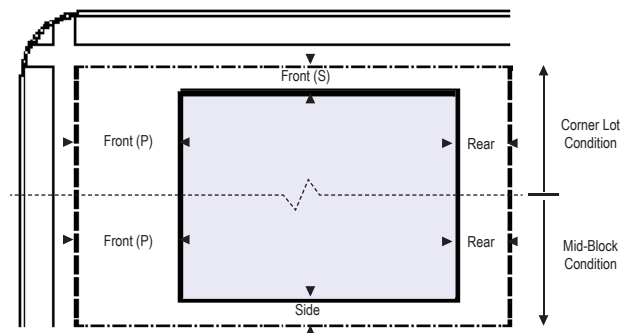
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 6.



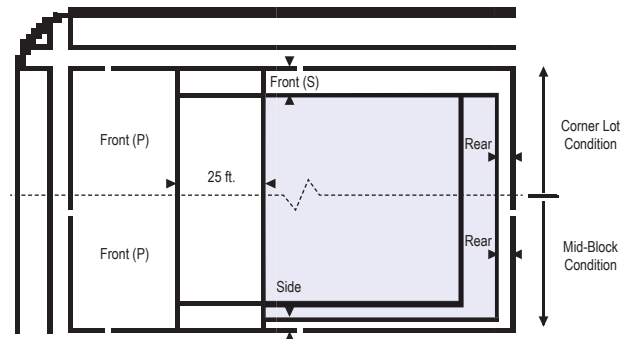
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuild shall be distanced from the Lot li as shown.



PARKING PLACEMENT

1. Uncovered parking spaces n be provided within the 2nd and Layer as shown in the diagram (: Table 14d).
2. Covered parking shall be p; vided within the 3rd Layer as shc in the diagram (see Table 14d).
3. Trash containers shall be sto within the 3rd Layer.

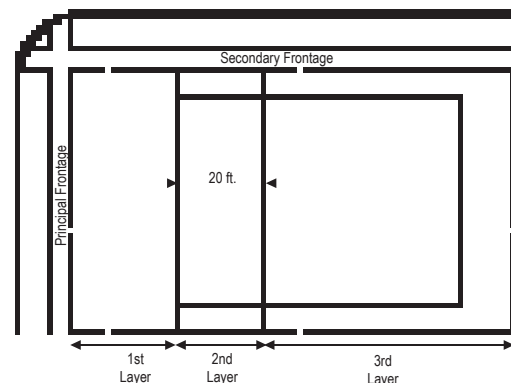
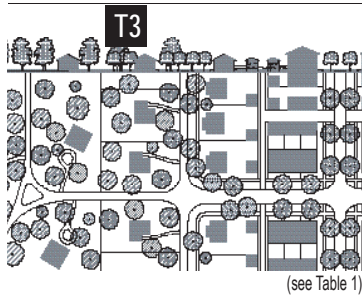


TABLE 13: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



(see Table 1)

BUILDING FUNCTION (see Table 8 & Table 10)

Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use

BUILDING CONFIGURATION (see Table 6)

Principal Building	2 stories max *
Outbuilding	2 stories max

LOT OCCUPATION

Lot Width	50 ft min, 120 ft max
Lot Coverage	40% max

BUILDING DISPOSITION (see Table 7)

Edgeyard	permitted
Sidyard	not permitted
Rearyard	not permitted
Courtyard	not permitted

SETBACKS - PRINCIPAL BUILDING

Front Setback (P)	25 ft min
Front Setback (S)	25 ft min
Side Setback	8 ft min
Rear Setback	10 ft min **
Frontage Buildout	40% min at setback

SETBACKS - OUTBUILDING

Front Setback	25 ft min
Side Setback	8 ft min
Rear Setback	10 ft min

PRIVATE FRONTAGES (see Table 5)

Common Lawn	permitted
Porch & Fence	permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted

Refer to Summary Table 12

PARKING PROVISIONS

See Table 8 & Table 9

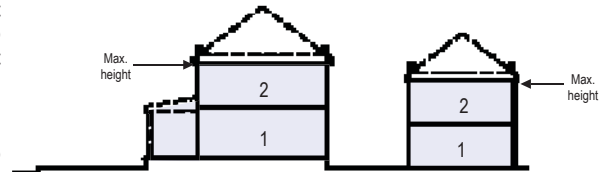
* with Fire Department approval when over 35 feet in height

** or 15 feet from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

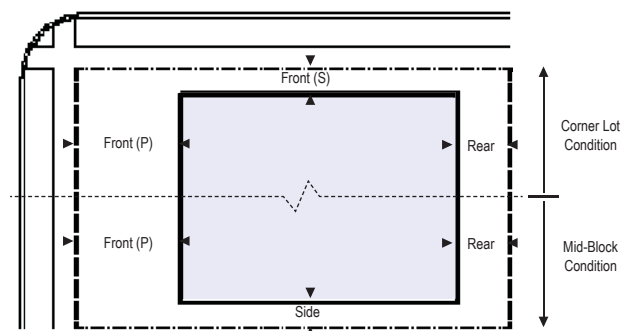
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 6.



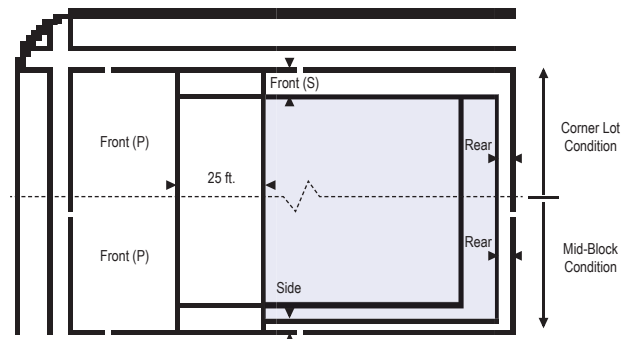
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuild shall be distanced from the Lot li as shown.



PARKING PLACEMENT

1. Uncovered parking spaces n be provided within the 2nd and Layer as shown in the diagram (: Table 14d).
2. Covered parking shall be p; vided within the 3rd Layer as shc in the diagram (see Table 14d).
3. Trash containers shall be sto within the 3rd Layer.

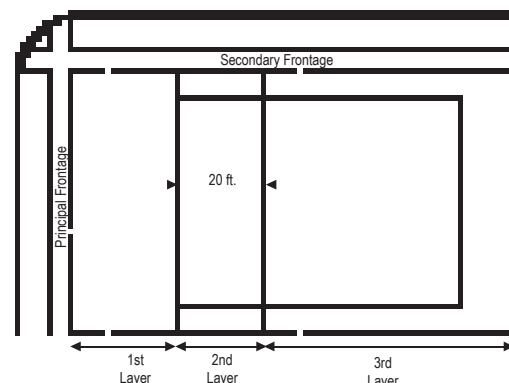
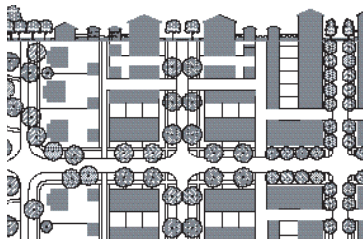


TABLE 13: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



(see Table 1)

BUILDING FUNCTION (see Table 8 & Table 10)	
Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use
BUILDING CONFIGURATION (see Table 6)	
Principal Building	2 stories max *
Outbuilding	2 stories max
LOT OCCUPATION	
Lot Width	20 ft min, 80 ft max
Lot Coverage	50% max
BUILDING DISPOSITION (see Table 7)	
Edgeyard	permitted
Sidyard	not permitted
Rearyard	not permitted
Courtyard	not permitted
SETBACKS - PRINCIPAL BUILDING	
Front Setback (P)	15 ft min
Front Setback (S)	15 ft min
Side Setback	5 ft min
Rear Setback	10 ft min **
Frontage Buildout	40% min at setback
SETBACKS - OUTBUILDING	
Front Setback	25 ft min
Side Setback	8 ft min
Rear Setback	10 ft min
PRIVATE FRONTAGES (see Table 5)	
Common Lawn	permitted
Porch & Fence	permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted
Refer to Summary Table 12	
PARKING PROVISIONS	
See Table 8 & Table 9	

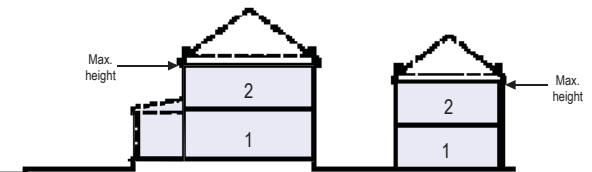
* with Fire Department approval when over 35 feet in height

** or 15 feet from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

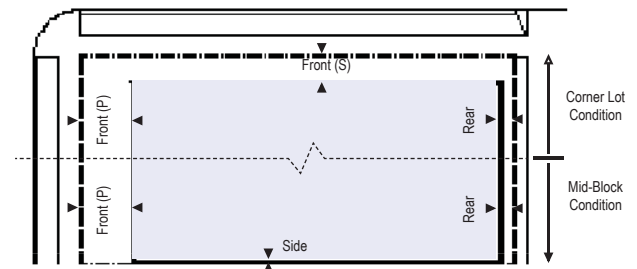
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 6.



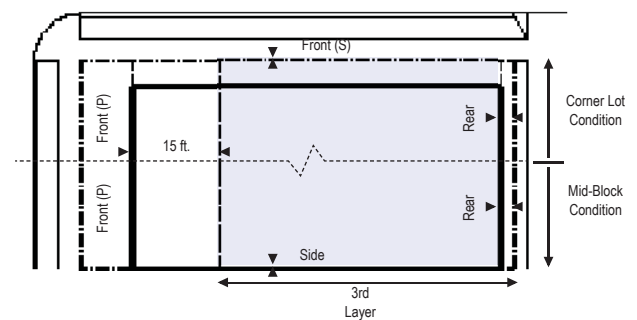
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 14d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 14d).
3. Trash containers shall be stored within the 3rd Layer.

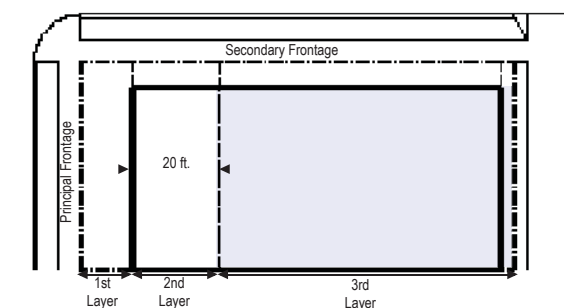
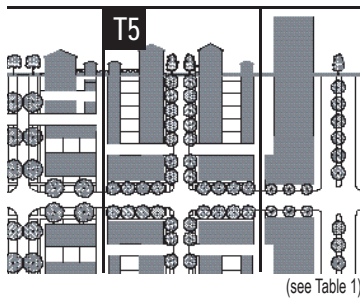


TABLE 13: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



(see Table 1)

BUILDING FUNCTION (see Table 8 & Table 10)	
Residential	open use
Lodging	open use
Office	open use
Retail	open use

BUILDING CONFIGURATION (see Table 6)	
Principal Building	3 stories max, 2 min *
Outbuilding	2 stories max

LOT OCCUPATION	
Lot Width	18 ft min
Lot Coverage	70% max

BUILDING DISPOSITION (see Table 7)	
Edgeyard	permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	not permitted

SETBACKS - PRINCIPAL BUILDING	
Front Setback (P)	0 ft min, 25 ft max
Front Setback (S)	0 ft min, 25 ft max
Side Setback	0 ft min, 8 ft max
Rear Setback	3 ft min, 30 ft max **
Frontage Buildout	60% min at setback

SETBACKS - OUTBUILDING	
Front Setback	25 ft max
Side Setback	8 ft min
Rear Setback	30 ft max

PRIVATE FRONTAGES (see Table 5)	
Common Lawn	not permitted
Porch & Fence	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	not permitted

Refer to Summary Table 12

PARKING PROVISIONS	
See Table 8 & Table 9	

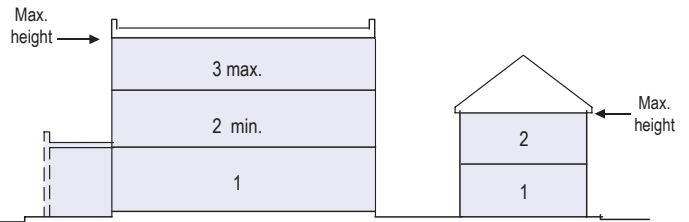
* with Fire Department approval when over 35 feet in height

** or 15 feet from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

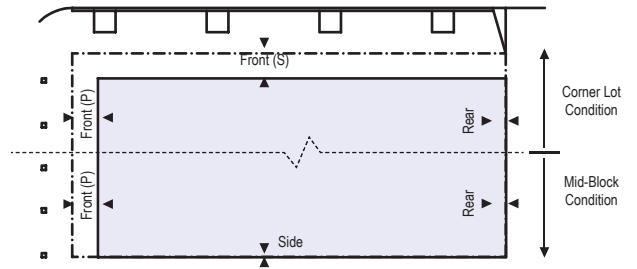
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 6.
4. Expression Lines shall be as shown on Table 6.



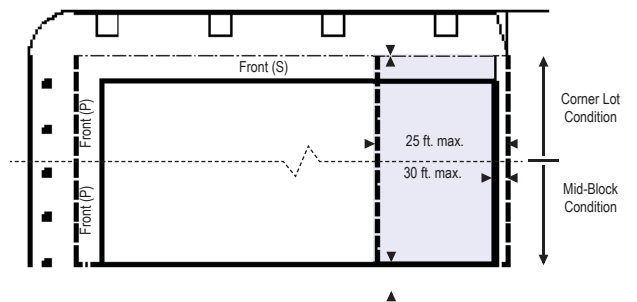
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 14d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 14d).
3. Trash containers shall be stored within the 3rd Layer.

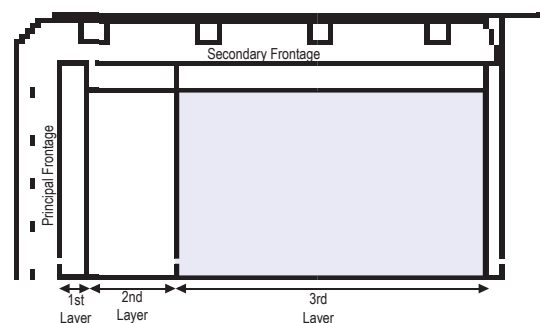
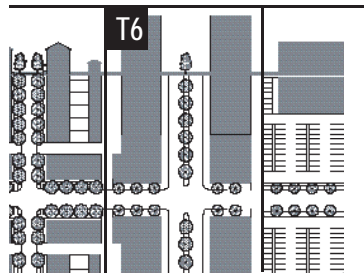


TABLE 13: Form-Based Code Graphics. The following plate is a graphic form-based code for buildings.



(see Table 1)

BUILDING FUNCTION (see Table 8 & Table 10)	
Residential	open use
Lodging	open use
Office	open use
Retail	open use

BUILDING CONFIGURATION (see Table 6)	
Principal Building	5 stories max, 2 min *
Outbuilding	2 stories max

LOT OCCUPATION	
Lot Width	18 ft min
Lot Coverage	80% max

BUILDING DISPOSITION (see Table 7)	
Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING	
Front Setback (P)	0 ft min, 25 ft max
Front Setback (S)	0 ft min, 25 ft max
Side Setback	0 ft min, 8 ft max
Rear Setback	0 ft min, 30 ft max **
Frontage Buildout	80% min at setback

SETBACKS - OUTBUILDING	
Front	25 ft
Side	0 ft min, 8 ft max
Rear	0 ft min, 30 ft max **

PRIVATE FRONTAGES (see Table 5)	
Common Lawn	not permitted
Porch & Fence	not permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

Refer to Summary Table 12

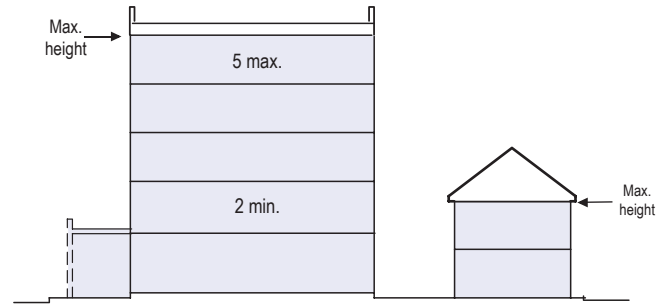
PARKING PROVISIONS	
See Table 8 & Table 9	

* with Fire Department approval when over 35 feet in height
 ** or 15 feet from center line of alley

Graphics are illustrative only. Refer to metrics for Setback and height information.

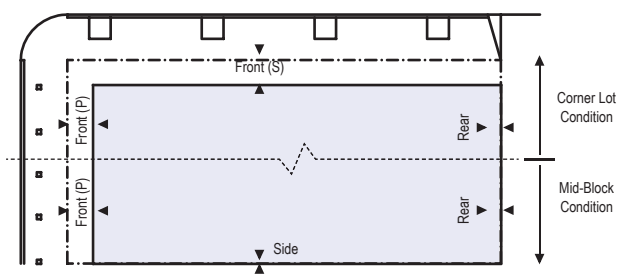
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial Function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck as specified on Table 6.
4. Stepbacks, Recess Lines, and Extension Lines shall be as shown on Table 6.



SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram (see Table 14d).
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram (see Table 14d).
3. Trash containers shall be stored within the 3rd Layer.

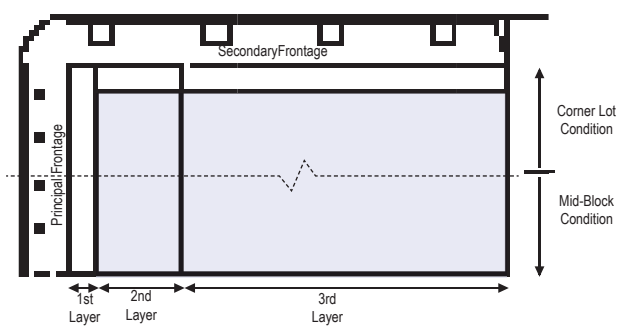
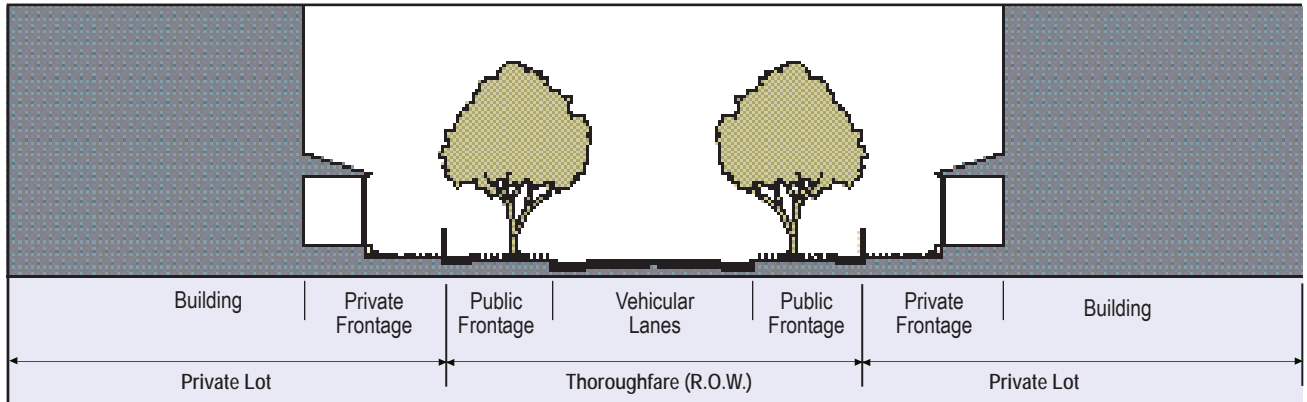
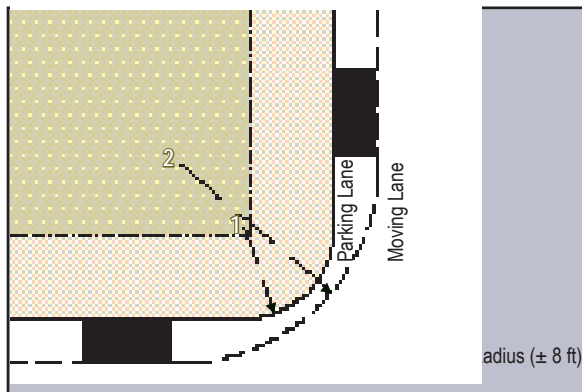


TABLE 14: Definitions Illustrated. This table provides a number of diagrams to support and clarify the Definitions in Article 7.

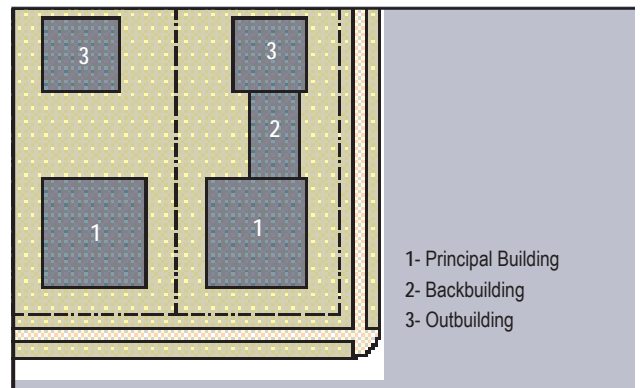
a. THOROUGHFARE & FRONTAGES



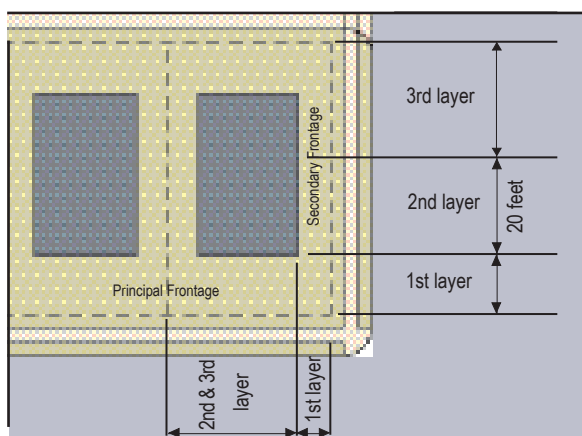
b. TURNING RADIUS



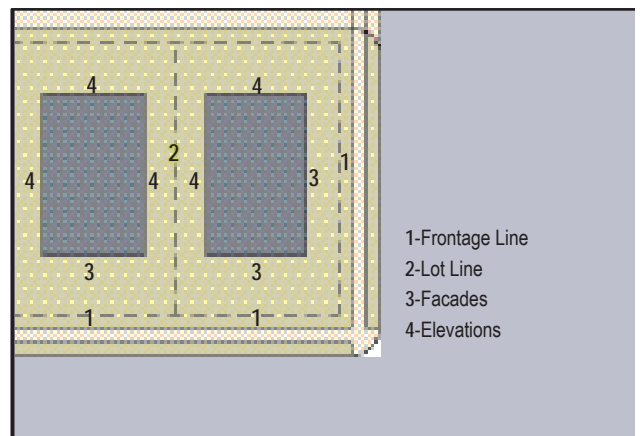
c. BUILDING DISPOSITION



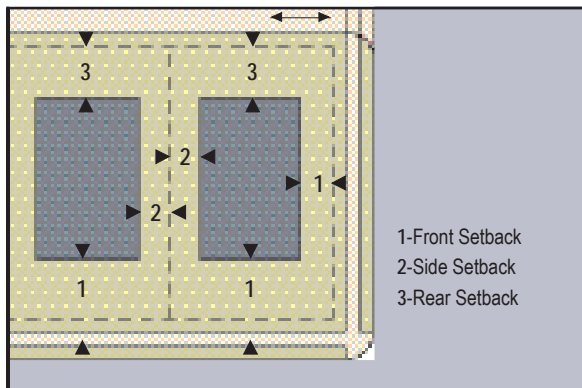
d. LOT LAYERS



e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS



g. NETWORK-BASED PEDESTRIAN SHED



DEFINITIONS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the Planning Office shall determine the correct definition of the term.

Absolute Maximum Density Allowance: the maximum number of Equivalent Housing Units which may be constructed on a lot through any means, including by Right or by Density Bonus. The Absolute Maximum Density Allowance is determined by multiplying the appropriate Absolute Maximum Building-Scale Density by the area of the lot. Under no circumstances may a lot's Density Allowance exceed the lot's Absolute Maximum Density Allowance.

Accessory Building: any building which is subordinate or incidental to the main building or use of a lot.

Affordable Housing: dwellings consisting of rental units or for-sale units. Both shall be economically within the means of the equivalent of the starting salary of a local elementary school teacher.

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Pedestrian Path.

Ancillary Unit: an apartment not greater than 600 square feet sharing ownership and utility connections with a Principal Building. An Ancillary Unit may or may not be within an outbuilding. Ancillary Units do not count toward maximum density calculations. See Tables 9 & 14.

Apartment Building: any structure or building designed for use by three or more households living independently of each other as separate housekeeping units, including apartment houses, apartment hotels, flats, and townhouses or condominiums, but not including auto or trailer courts or camps, hotels, motels, or resort-type hotels.

Avenue (AV): a thoroughfare of high vehicular capacity and low speed. Avenues are short distance connectors between urban centers. Avenues may be equipped with a landscaped median. Avenues become collectors upon exiting urban areas. **Backbuilding:** a single-story structure connecting a principal building to an outbuilding. See Table 14.

Bed and Breakfast: an owner-occupied single-family dwelling, or portion thereof, where short-term lodging is provided, with or without meals, for compensation, to transient guests only. Meals may be provided to guests only. Up to five (5) guest rooms may be provided.

Bed and Breakfast Inn: a single-family dwelling, or portion thereof, where short-term lodging is provided for compensation to transient guests only. The operator may or may not live on the premises. Meals may be provided to guests only. Up to fifteen (15) guest rooms may be provided.

Bicycle Lane (BL): a dedicated bicycle lane running within a moderate speed vehicular thoroughfare, demarcated by striping. **Bicycle Route (BR):** a thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

Bicycle Trail (BT): a bicycle way running independently of a high speed vehicular thoroughfare.

Block: the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

Block Face: the aggregate of all the building facades on one side of a block. The Block Face provides the context for establishing architectural harmony.

Boulevard (BV): a thoroughfare designed for high vehicular capacity and moderate speed. Boulevards are long distance thoroughfares traversing urbanized areas. Boulevards are usually equipped with slip roads buffering sidewalks and buildings. Boulevards become arterials upon exiting urban areas.

Brownfield: an area previously used primarily as an industrial site.

Building Configuration: the form of a building, based on its massing, private frontage, and height.

Building Disposition: the placement of a building on its lot. See Table 7.

Building Function: the uses accommodated by a building and its lot. Functions are categorized as Restricted, Limited, or Open, according to the intensity of the use. See Tables 9 & 10.

Building Height: the vertical extent of a building measured in stories, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures. Building Height shall be measured from the average grade of the enfronting thoroughfare. See Table 6.

Building-Scale Density: the number of Equivalent Housing Units per unit of Lot-Level Area of a development.

Building Standards: Requirements for the design, construction, maintenance, and occupancy of developments.

Building Type: a structure category determined by function, disposition on the lot, and configuration, including frontage and height.

Bus Station: a terminal that serves bus passengers.

By-Right Density Allowance: the Lot Density Allowance obtained by multiplying the Maximum Building-Scale Density for the appropriate Transect Z one by the area of a particular lot. The By-Right Density Allowance represents the maximum number of Equivalent Housing Units which can be constructed on a lot by right, without acquiring additional density rights. The total Lot Density Allowance may be increased from the By-Right Density Allowance through Density Transfers and Bonuses. See Lot Density Allowance.

By Right Permit: a proposal for a building or community plan that complies with this code and may thereby be processed administratively, without public hearing. See Variance.

Child Care Center: an establishment providing care for four or more children. The term "child care center" includes day care nurseries, day care centers and any other facilities that fall within the scope of the definition set forth herein, regardless of auspices. Exempted from this definition is any facility operating as a

kindergarten, nursery school or head start in conjunction with an elementary and/or secondary school system, whether it be public, private or parochial, whose primary purpose is a structured school readiness program. The Mississippi State Board of Health shall stipulate space requirements.

Civic: the term defining not for profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Building: a building designed specifically for a civic function. Civic Buildings shall not be subject to the requirements of Article 5. The particulars of their design shall be determined by Variance.

Civic Parking Reserve: parking structure or lot within a quarter mile of the site that it serves. Space may be leased or bought from this Reserve to satisfy parking requirements.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their enfronting buildings. See Table 11.

CLD: Conservation Land Development, Clustered Land Development. An incomplete neighborhood, standing free in the countryside. Because of a location away from transportation, CLD has a weak commercial center. This is the only Community type permitted by Right in the Restricted Growth Sector. (Syn: Hamlet, Cluster)

Commercial: the term collectively defining workplace, office and retail functions.

Common Destination: an area of focused community activity defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, a bus stop. A Common Destination may act as the social center of a Neighborhood. See Section 3.7.

Communication Tower: a guyed, monopole, or self-supporting tower, constructed as a free standing structure.

Community Plan: a governing plan for the development and maintenance of a district which may include one or several Neighborhoods and/or Urban Centers. A Community Plan includes at a minimum a Regulating Plan, detailing the layout of the Transect zone districts over the Community, a Special Requirements Plan, describing additional details and requirements, and a Streets and Parking Plan. The Community Plan may include other specifications as well.

Community Planning Area: the geographic extent governed by a Community Plan.

Community Type: a category defining the physical form of a settlement. The three basic Community Types addressed in this Code are CLD, TND, and RCD/TOD. The choice of Community Type will depend upon the regional Sector, level of urban intensity desired, particulars of the site, transportation, and implementation.

Consolidated Review Committee (CRC): usually part of the Planning Office, a CRC is composed of one representative from each of the regulatory agencies that have jurisdiction over the permitting of a project.

Context: surroundings made up of the particular combination of elements that create specific habitat.

Convention Center: a large civic building or group of buildings designed for conventions, industrial shows, and the like, having large unobstructed exhibit areas and often including conference rooms, and other facilities.

Corridor: a lineal geographic system incorporating transportation and/or greenway trajectories. A transportation corridor may be a lineal urban Transect Zone.

Courtyard Building: a building that occupies the boundaries of its lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system. See Table 4.

DDC: Design and Development Center. See UDC.

Density: the number of dwellings units per area acre. For the SmartCode of the unincorporated Harrison County density is calculated as follows: Number of residential units + (Square footage of non-residential X conversion factor) % of acreage of community type (CLD, TND, RCD) X by right density Acreage of Project. See Section 3.4.

Density Allowance: see Lot Density Allowance.

Design Speed: is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

Developable areas: residual to the Preserved Open Sector.

District: see Special District.

Driveway: a vehicular lane within a lot, usually leading to a garage. A Driveway in the First Layer may be used for parking if it is no more than 18 feet wide, thereby becoming subject to the constraints of a parking lot.

Dwelling: a building or portion thereof, designed and used exclusively for residential occupancy.

Dwelling, Duplex: a building designed for or occupied exclusively by two households.

Dwelling, Guest Cottage: an attached or detached accessory structure secondary to a principal detached single household dwelling; designed and most commonly used for irregular residential occupancy by family members, guests, and persons providing health care or property maintenance for the owner. Terms commonly used to describe a guest cottage are mother-in-law's house, pool house, and grounds keeper's cottage.

Edgeward Building: a building that occupies the center of its lot with setbacks on all sides.

Elevation: an exterior wall of a building not along a Frontage Line. See Facade, Table 14.

Enfront: to place an element along a frontage line, as in "porches enfront the

street.”

Entrance, Principal: the main point of access of pedestrians into a building.

Equivalent Housing Unit (EHU): an abstracted measure of development (Function Volume) variously equivalent to one Independent Residential Unit, two bedrooms of Lodging, 1000 square feet of Retail floor space, or 1000 feet of Office floor space. EHUs are used in calculating densities for mixed-use environments.

Estate House: an edgeward building type. A single-family dwelling on a very large lot of rural character, often shared by one or more ancillary buildings. (Syn: Country house, Villa)

Facade: the exterior wall of a building that is set along a Frontage Line. See Elevation; Frontage Line.

Frontage Line: those lot lines that coincide with a public frontage. Facades along Frontage Lines define the public realm and are therefore more regulated than the elevations that coincide with other Lot Lines. See Table 14.

Function Volume: an indication of the number of distinct instances of functions at a particular site, measured in Equivalent Housing Units. See Building Function.

Garage, Public: a building other than a private or storage garage, used for the care, repair, or storage of self-propelled vehicles or where such vehicles are kept for remuneration, hire, or sale. This includes premises commonly known as filling stations or service stations.

GIS (Geographic Information System): a computerized program in wide-spread municipal use that organizes data on maps. Various municipal departments can input information including the location of wetlands, thorough-fares, water/sewer lines, boundaries, building footprints, schools, zoning, land-use, etc. GIS makes information available as layered databases. The protocol for preparing a Sector Plan should be based on GIS information. See Section 2.1.

Golf Course: premises having not fewer than nine holes improved with tees, greens, fairways, and hazards for playing the game of golf, not including driving ranges or miniature golf.

Greenfield: a project planned for an undeveloped area outside the existing urban fabric. See Infill.

Greenhouse: a structure, primarily of glass, in which temperature and humidity can be controlled for the cultivation or protection of plants.

Greenway: an open space corridor in largely natural conditions which may include Trails for bicycles and pedestrians.

Greyfield: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites.

Growth Sector: one of the three Sectors for New Communities or the Infill Sector, where development is permitted by right.

Hamlet: see CLD.

Home Occupation: non-retail commercial enterprises permitted in Zones T3-6. The work quarters should be invisible from the frontage, located either within the

house or in an outbuilding. Permitted activities are defined by the Restricted Office category. See Table 9.

House: an edgeward building type. A single-family dwelling on a large lot, often shared with an ancillary building in the rearyard. (Syn: **Single**)

Independent Building: a building designed by a different architect from the adjacent buildings.

Infill: a project within existing urban fabric.

Inside Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. See Tables 3 and 14.

Kennel, Commercial: any facility wherein any person engages in the business of boarding, breeding, buying, letting for hire, training for a fee, or selling dogs or cats, or where there are regularly kept four or more adult dogs or cats, or any combination thereof.

Kiosk: a small structure with one or more open sides that is used to sell or promote merchandise or services.

Layer: a range of depth of a lot within which certain elements are permitted. See Table 14.

Linear Pedestrian Shed: a Pedestrian Shed that is elongated along an important Commercial corridor such as a main street. The resulting shed is shaped like a lozenge. (Sometimes called an Elongated Pedestrian Shed.)

Liner Building: a building specifically designed to mask a parking lot or a parking garage from a frontage. A Liner Building, if less than 30 feet deep and two stories, shall be exempt from parking requirements.

Live-Work: a fee-simple dwelling unit that contains a Commercial component anywhere in the unit. See **Work-Live**. (Syn: **Flexhouse**)

Lodging: premises available for daily and weekly renting of bedrooms. The area allocated for food service shall be calculated and provided with parking according to retail use.

Long Pedestrian Shed: a Pedestrian Shed of 1/2 mile radius used for mapping community types when a transit stop (bus or rail) is present or proposed as the Common Destination. People have been shown to walk ten minutes to transit. See **Pedestrian Shed**.

Lot Density Allowance: the maximum number of Equivalent Housing Units which may be constructed on a lot. The Lot Density Allowance may be increased from the By-Right Density Allowance through Density Bonuses, and is then the sum of the By-Right and the Acquired Density Allowances, but in no case may the total number of units exceed the Absolute Maximum Density Allowance. See **Absolute Maximum Density Allowance**, **By-Right Density Allowance**).

Lot Line: the boundary that legally and geometrically demarcates a lot (see **Frontage Line**). Such lines appear graphically on Community and Site Plans. Codes reference lot lines as the baseline for measuring setbacks. See Tables 12 and 14.

Lot Width: the length of the principal Frontage Line of a lot.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and including their retail sale.

Marina: a boat basin, harbor or dock, with facilities for berthing and servicing boats which may include the provision of bait, ice and fishing tackle and eating establishments.

Meeting Hall: a building available for gatherings, including conferences. It should accommodate at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the pedestrian shed in which the meeting hall is located. A Meeting Hall shall be completed upon the sale of 75% of the dwelling units. The Meeting Hall may be used for the marketing purposes of the development until the sale of 75% of the dwelling units, at which time control of its use shall be given to the Board of Supervisors.

Mini-Warehouse Storage: a wholly enclosed building used for the storage of personal property in self-contained, self-storage units, each of which units has separate and exclusive access from either the exterior or interior of the building.

Museum: a building devoted to the acquisition, conservation, study, exhibition, and educational interpretation of objects.

Neighborhood: a mostly residential area, often but not necessarily with a recognizable edge, based on a mapped Pedestrian Shed with a mixed-use center or corridor.

Net Developable Area, Net Site Area: the developable areas of a site. The Net Site Area shall be allocated to the various Transect Zones according to the parameters in Table 12.

Office Building: a building designed for or used as offices for professional, commercial, industrial, religious, public or semi-public activities or organizations providing that no manufactured products or commodities are warehoused or sold on the premises.

Open Sector: one of the two Sectors where development is not permitted.

Outbuilding: an accessory building, usually located towards the rear of the same lot as a Principal Building. It is sometimes connected to the principal building by a Backbuilding. Outbuildings shall not exceed 600 square feet of habitable space, excluding parking areas. See Table 14.

Parking Structure: a building containing two or more stories of parking. Parking Structures shall have Liner Buildings at the first story or higher.

Passage (PS): a pedestrian connector passing between buildings, providing shortcuts through long blocks and connecting rear parking areas to frontages. Passages may be roofed over.

Path (PT): a pedestrian way traversing a park or rural area, with landscape matching the contiguous open space. Paths should connect directly with the urban sidewalk network.

Pedestrian Shed: an area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of

a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along Thoroughfares. The Common Destination should have the present or future capacity to accommodate a T5 Transect Zone for TND and a T6 Zone for RCD. A Long Pedestrian Shed is 1/2 mile radius or 2640 feet, and may be used for mapping when transit is present or proposed. (Sometimes called a “walkshed” or “walkable catchment.”) A Linear Pedestrian Shed is elongated to follow a Commercial corridor. See Standard, Long, or Linear Pedestrian Shed.

Planter: the element of the public streetscape which accommodates street trees. Planters may be continuous or individual. **Primary-Secondary Grid:** thoroughfare designations appearing on the Regulating Plan. Buildings on the P-Grid are subject to all of the provisions of this Code. Buildings on the S-Grid are exempt from certain provisions, allowing for approved open parking lots, unlined parking decks, drive-throughs and hermetic building fronts.

Playground: an outdoor area set aside for recreation and play, it could contain equipment such as seesaws and swings.

Principal Building: the main building on a lot, usually located toward the frontage. See Table 14.

Private Frontage: the privately held layer between the frontage line and the principal building facade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches and galleries. See Table 5.

Public Art: works of art in any artistic medium (bronze, stone, paint, etc) for temporary or permanent placement in outdoor or indoor settings.

Public Frontage: the area between the curb of the vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight. See Table 4.

Public-Parking Facility: a parking structure or surface parking lot which offers parking spaces to the general public for a fee on an as-available basis. A Public Parking Facility as described herein need not be publicly owned and operated. The parking spaces in Public Parking Facilities are Unbundled: that is, they are freely available for lease on the open market, rather than being permanently associated with one business, with one building, or with one dwelling unit.

RCD or Regional Center Development: a Community Type based upon a partial or entire Long Pedestrian Shed, oriented toward a strong Town Center. The minimum developable area of an RCD/TOD is 160 acres. This Community Type is permitted by right within the G-3 Intended Growth Sector (see Section 3.3.3) and the G-4 Infill Growth Sector (see Section 4.3.2) RCD/TOD may be adjoined without buffers by one or several Standard Pedestrian Sheds that meet the individual Transect Zone requirements of an RCD as specified in Tables 2 and 12.

Rear Alley (AL): a vehicular driveway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys should be

paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.

Rear Lane (LA): a vehicular driveway located to the rear of lots providing access to parking and outbuildings and containing utility easements. Rear lanes may be paved lightly to driveway standards. Its streetscape consists of gravel or landscaped edges, no raised curb and is drained by percolation.

Rearyard Building: a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous facade spatially defines the public thoroughfare. For its residential function, this type yields a rowhouse. For its commercial function, the rear yard can accommodate substantial parking.

Regional Centers: see RCD.

Residential: premises available for long-term human dwelling.

Retail: premises available for the sale of merchandise and food service.

Retail Frontage Line: Frontage Lines designated on a Community Plan that require the provision of a Shopfront, causing the ground level to be available for retail use.

Road (RD): a local, rural and suburban thoroughfare of low vehicular speed and capacity. Its public frontage consists of swales drained by percolation and a walking path or bicycle trail along one or both sides. The landscaping consists of multiple species composed in naturalistic clusters. This type is allocated to the more rural Transect Zones (T1-T3).

Row House: a single-family dwelling that shares a party wall with another of the same type and occupies the full frontage line. See **Rearyard Building**. (Syn: **Townhouse**)

Rural Boundary Line: the extent of potential urban growth as determined by existing geographical determinants. The rural boundary is permanent.

Sector: a neutral term for a geographic area. In the SmartCode there are six specific Sectors that establish the legal boundaries for several kinds of development. Two Sectors represent unbuildable open space (Preserve and Reserve) and the other four are Urban Growth Sectors of varying intensity (Restricted, Controlled, Intended and Infill Growth Sectors). Sectors address the legal status of place at the regional scale while Transect Zones address the physical character of communities. Sectors contain Community Types (CLD, TND, RCD, TOD), which contain Transect Zones, which contain design standards appropriate to those T-Zones. (Syn: **Tier**)

Service Boundary Line: the extent of potential or feasible urban growth as determined by the extension of infrastructure, principally sewer.

Setback: the area of a lot measured from the lot line to a building facade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback. See Section 5.2.1 and Table 9.

Shared Parking Policy: an accounting for parking spaces that are available to more

than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies according to multiple functions in close proximity which are unlikely to require the spaces at the same time. See Tables 9 and 10.

Sidewalk: the paved layer of the public frontage dedicated exclusively to pedestrian activity.

Sideyard Building: a building that occupies one side of the lot with a setback to the other side.

Special District (SD): Special District designations shall be assigned to areas that, by their intrinsic function, disposition, or configuration, cannot conform to one of the six normative Transect Zones or four Community Types specified by this Code. Typical Districts may include large parks, institutional campuses, refinery sites, airports, etc.

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to manufacturing and transportation, and are distorted by the trajectories of machinery.

Stable: a building that has stalls or compartments in which domestic animals are sheltered and fed.

Standard Pedestrian Shed: an area, approximately circular, that is centered on a Common Destination. A Pedestrian Shed is applied to determine the approximate size of a Neighborhood. A Standard Pedestrian Shed is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along thoroughfares. (Sometimes called a “walkshed” or “walkable catchment.”) See Pedestrian Shed.

Story: a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height.

Streamside Corridor: the zone within which a waterway flows, its width to be variably interpreted according to the Transect Zone.

Street (ST): a local urban thoroughfare of low speed and capacity. Its public frontage consists of raised curbs drained by inlets and sidewalks separated from the vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees. This type is permitted within the more urban Transect Zones (T4-T6).

Streetscape: the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

Streetscreen: sometimes called Streetwall. A freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the thoroughfare. Streetscreens [should] be between 3.5 and 8

feet in height and constructed of a material matching the adjacent building facade. The streetscreen may be a hedge or fence by approval. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian access. In addition, all streetscreens over [4 feet] high should be [30%] permeable or articulated to avoid blank walls.

Substantial Modification: alterations to a building that are valued at more than 50% of the replacement cost of the entire building, if new.

Terminated Vista: a location at the axial conclusion of a thoroughfare. A building located at a Terminated Vista designated on a Community Plan is required to be designed in response to the axis.

Third Place: a private building that includes a space conducive to unstructured social gathering. Third Places are usually bars, cafés, and corner stores.

Thoroughfare: a vehicular way incorporating moving lanes and parking lanes within a right-of-way. See Tables 3 and 14.

Tier: see Sector.

TND or Traditional Neighborhood Development: a Community Type based upon a Standard Pedestrian Shed oriented toward a Common Destination consisting of a mixed use center or corridor, and having a minimum developable area of 80 acres. This Community Type is permitted by right within the G-2 Controlled Growth Sector, the G-3 Intended Growth Sector (see Section 3.3.2) and the G-4 Infill Growth Sector (see Section 4.3.2). A TND may be comprised of a partial or entire Standard Pedestrian Shed or more than one Standard Pedestrian Shed. (Syn: Urban Village; Village)

Town: RCD. A Community Type consisting of at least one Long Pedestrian Shed with a strong mixed-use center, or more than one TND sharing a center.

Town Center: the mixed use center or main Commercial corridor of a community. A Town Center in a hamlet or small TND may consist of little more than a meeting hall, corner store, and main civic space. A Town Center for RCD or TOD communities may be a substantial downtown Commercial area, often connected to other Town Centers by transit.

Townhouse: see Rowhouse.

Trade School: a secondary school that offers instruction in skilled trades.

Transect: a system of ordering human habitats in a range from the most natural to the most urban. The SmartCode is based upon six Transect Zones which describe the physical character of place at any scale, according to the density and intensity of land use and urbanism.

Transect Zone (T-Zone): Transect Zones are administratively similar to the land-use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and the enfronting public streetscape. The elements are determined by their location on the Transect scale. The T-Zones are: T1 Natural, T2 Rural, T3 Sub-Urban, T4 General Urban, T5 Urban Center, and T6 Urban Core (see Table 1).

Transition Line: a horizontal line spanning the full width of a facade, expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

Type: a form category determined by function, disposition, and configuration, including size or extent. There are community types, street types, civic space types, etc. See **Building Type**.

Urban Growth Boundary: the extent of potential urban growth as determined by the projected demographic needs of a region. The urban boundary may be adjusted from time to time.

Urban Village: a TND Community Type within an urbanized area. See **TND**.

Variance: a ruling that would permit a practice that is not consistent with either a provision or the Intent of this Code (Section 1.2). Variances are usually granted by the Board of Appeals in a public hearing. See Section 1.5.

Village: a Village is usually a TND Community Type standing isolated in the countryside, but with a stronger center than a hamlet due to its proximity to a transportation corridor. See **TND**.

Warehouse: a building in which goods or merchandise is stored.

Waste Facility: a solid waste disposal area, volume reduction plant, or waste transfer station.

Work-Live: a fee-simple mixed-use unit with a substantial Commercial component that may accommodate employees and walk-in trade. Therefore the unit shall require ADA compliance for accessibility. See **Live-Work**. (Syn: **Live-With**)

TREES AND SHRUBS SUITABLE FOR MISSISSIPPI GULF COAST

(Source: Mark LaSalle, Audubon Society)

The following species can thrive in FEMA's V Zones and A Zones, for all 6 Transect Zones, Maritime Forest and upland (tolerant of salt spray, thrive in wet soils):

Bald Cypress
Darlington Oak
Live Oak
Slash Pine
Southern Magnolia
Spruce Pine
Sweetbay Magnolia

Wet soil, but not V salt zone:

Big Leaf Magnolia
Black Gum – all 6 Transect Zones
Buckwheat
Fringe Tree
Overcup Oak
River Birch
Serviceberry
Sweetgum
Sycamore
Willow Oak
Wild Olive

Shrubs:

American Beauty Berry
Azalea
Wax Myrtle
Yaupon

Drier areas:

American Beech
Cherrybark Oak
Longleaf Pine
Red Cedar – best for T1-T4
Red Maple
Southern Red Oak
Tulip Poplar
White Oak

General Advice:

Overused: Crepe Myrtle (high maintenance); Red Maple (blows down)

Generally avoid overplanting under power lines.

T5/6 trees need adequate drip line (large enough planters).

Compaction in T5/6 hurts many species.

Trees (including Live Oaks) that lose leaves during storms are fine, if roots haven't been exposed.

RESOURCES

On the New Urbanism:

The Charter of the New Urbanism, by the Congress for the New Urbanism

Suburban Nation, by Andrés Duany, Elizabeth Plater-Zyberk, and Jeff Speck

New Urbanism: Toward an Architecture of Community, by Peter Katz

The Next American Metropolis: Ecology, Community and the American Dream, by Peter Calthorpe

New Urbanism: Comprehensive Report & Best Practices Guide, by New Urban News

The Geography of Nowhere, by James Howard Kunstler

The Wealth of Cities, by John Norquist

The New Transit Town, by Hank Dittmar

The New American Urbanism, by John Dutton

On the Transect and SmartCode:

List of publications and resources at:

<http://www.placemakers.com/info/infoClear.html>

Short piece about the launch of the SmartCode (2003):

<http://www.tndtownpaper.com/Volume5/smartcode.htm>

CNU Council Report IV - information on the SmartCode and progressive codes in general; transcripts from Santa Fe 2002 Council on Codes:

<http://www.nucouncil.net/nucouncil.asp?a=spf&pfk=3>

"Making the Good Easy: The Smart Code," Andrés Duany and Emily Talen, *Fordham Urban Law Review Journal* 29, 4: 1445-1468. (2002)

Forthcoming (February 2006) - "Making Traditional Town Planning Legal Again: Legally Calibrating the SmartCode for Local Jurisdictions" by Chad Emerson. cemerson@FAULKNER.EDU

On Charrettes:

<http://www.charretteinstitute.org/>

Selected Books and Articles:

http://dpz.com/company_bibliography.htm